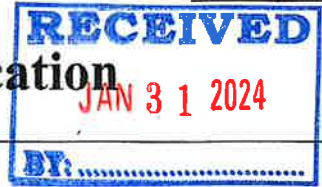




P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. \_\_\_\_\_



# Residential Building Permit Application

Jobsite: 41 East Shore Drive

Owner's Name: Craig & Johanna Sternke Mailing Address (if different from project location above): (same)

Craig: 414.861.0878  
 Johanna: 262.424.0014  
 Phone No.  
 Bob: 414.254.6142  
 Sue: 414.254.2227  
 Phone No.

Contractor's Name: Thierfelder Builders, Inc. Contractor's Mailing Address: W51 N740 Keep Rd.

City, State & Zip Code: Cedarburg WI 53012

Email: sue@thierfelderbuilders.com

Dwelling Contractor Certification No.: DC-05900635

Dwelling Contractor Qualifier Certification No.: DCQ-020800375

**Please check project type**

New**		Addition**	<input checked="" type="checkbox"/>	Job Description:
Alteration*		Repair	<input type="checkbox"/>	<u>master suite addition &amp; lower level finished area</u>

Size 21'1" x 36'3" Sq. Ft. 1,472 Height 19' Est. Value of Project \$ 230,000

**\*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:**

- 1 set of building plans drawn to scale.

**\*\*ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:**

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2<sup>nd</sup> Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3<sup>rd</sup> Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

**ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE**

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Susan Thierfelder DATE \_\_\_\_\_

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. \_\_\_\_\_

FOR OFFICE USE:	CHECK NO. _____	AMT PD _____	DATE _____
PAID BY: _____			

**FEE SCHEDULE WORKSHEET**

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
<b>Sub Total:</b>				
21	Architectural Review Board/Planning Commission		\$280.00	
<b>Grand Total:</b>				

**All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections**

**Thierfelder**  
BUILDERS, INC.

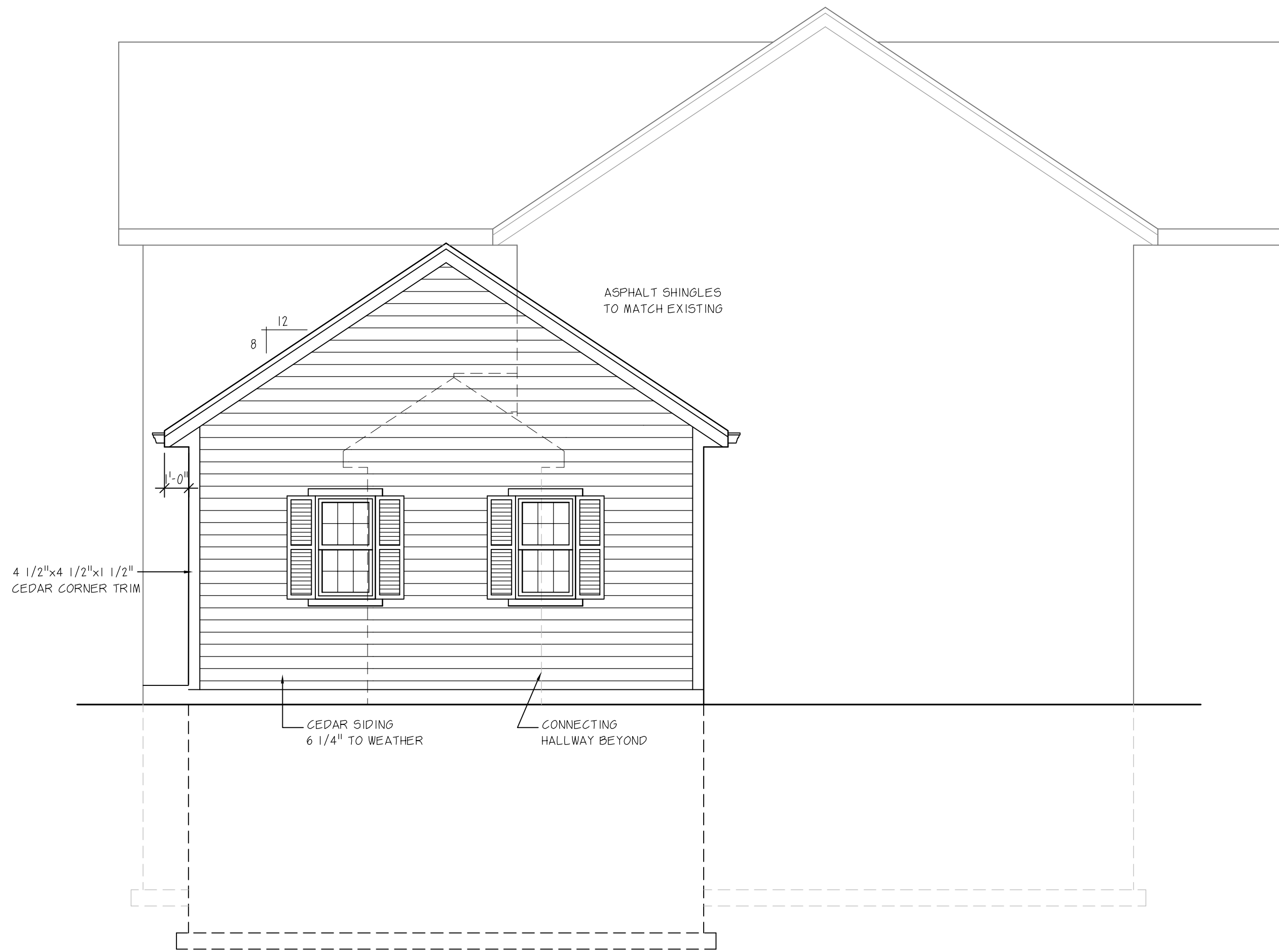
**CRAIG & JOANN STERNKE RESIDENCE**

41 EAST SHORE DRIVE, RANDOM LAKE

EXTERIOR COLORS TO MATCH EXISTING COLORS  
AS CLOSELY AS POSSIBLE

**PICTURES OF EXISTING HOME**



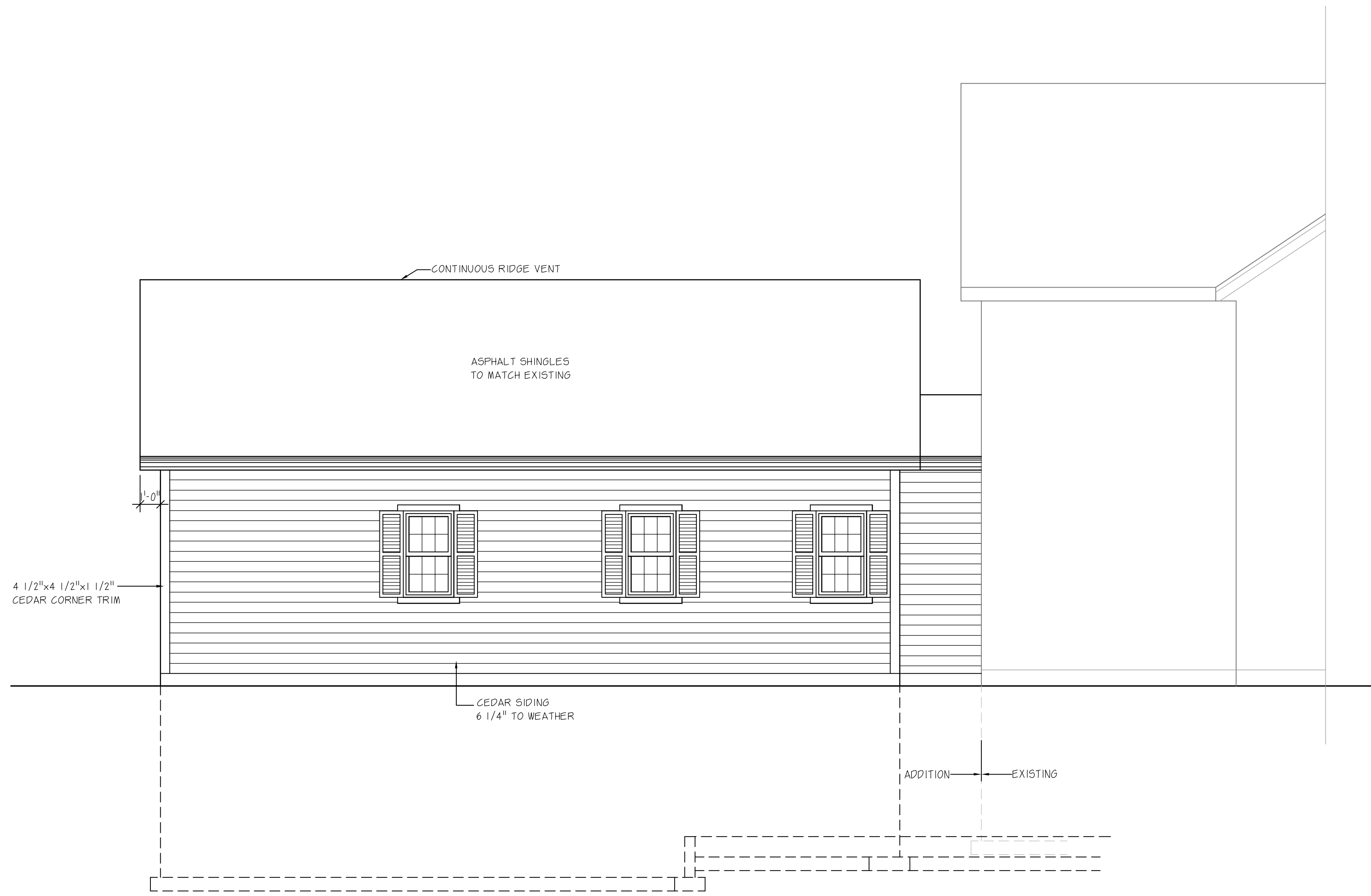


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE:  
FIELD VERIFY ALL  
DIMENSIONS AND CONDITIONS REPRESENTED HEREIN.  
MAJOR DISCREPANCIES BETWEEN THESE DOCUMENTS  
AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED  
TO NEW HORIZON VENTURES IMMEDIATELY!!!

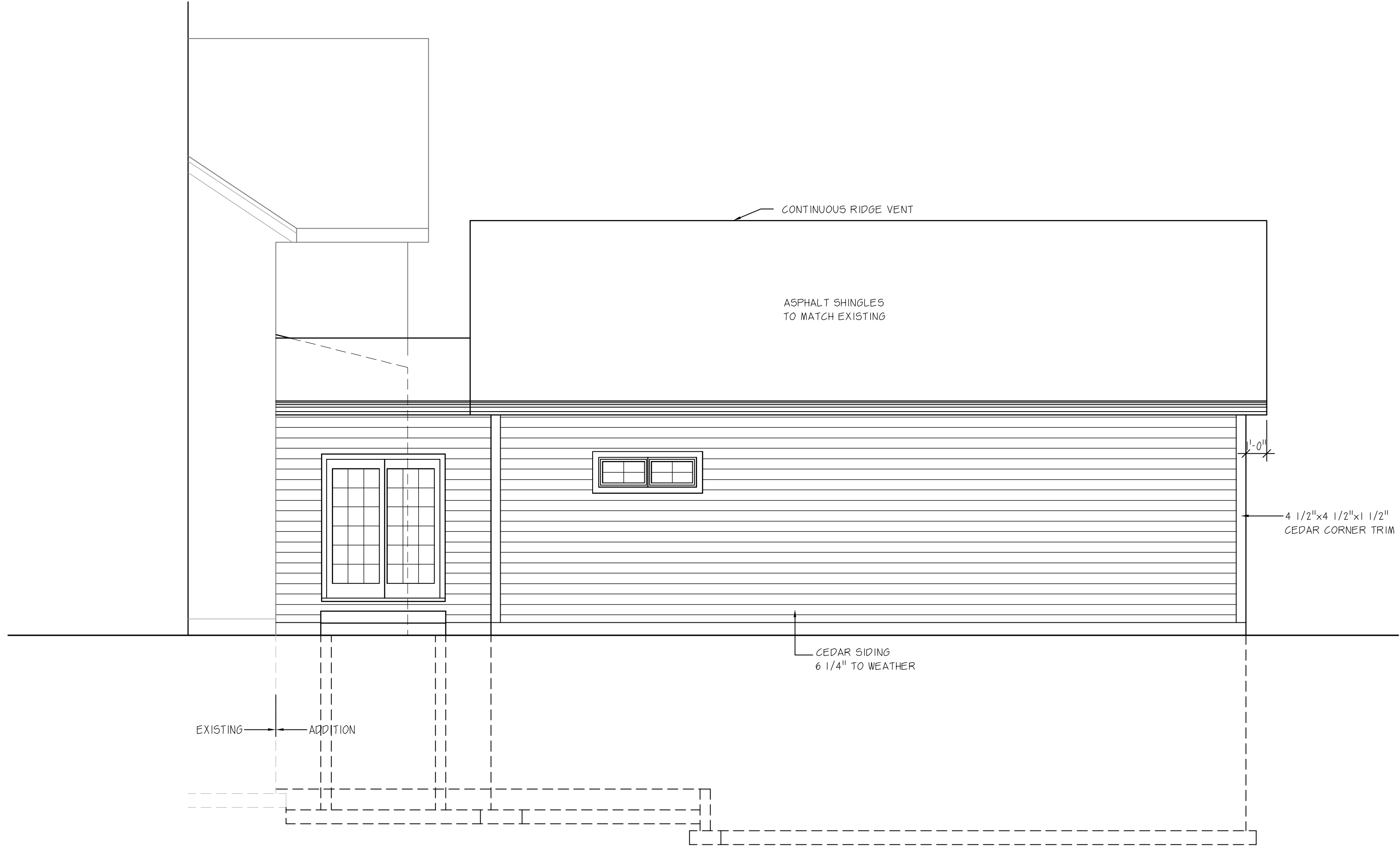
<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI. 53024 <a href="http://www.nhv-arch.com/">http://www.nhv-arch.com/</a> 262-377-4730 or 262-375-2397		<b>PROJECT</b> ADDITION PLANS FOR: STERKE RESIDENCE
<b>JOB NUMBER</b> STE-2507-723	<b>DATE</b> 10/3/2023	<b>REVISIONS:</b>
<b>SHEET</b> 1 OF 7	<b>CHECKED BY:</b> D.S.	<b>DRAWN BY:</b> D.S.






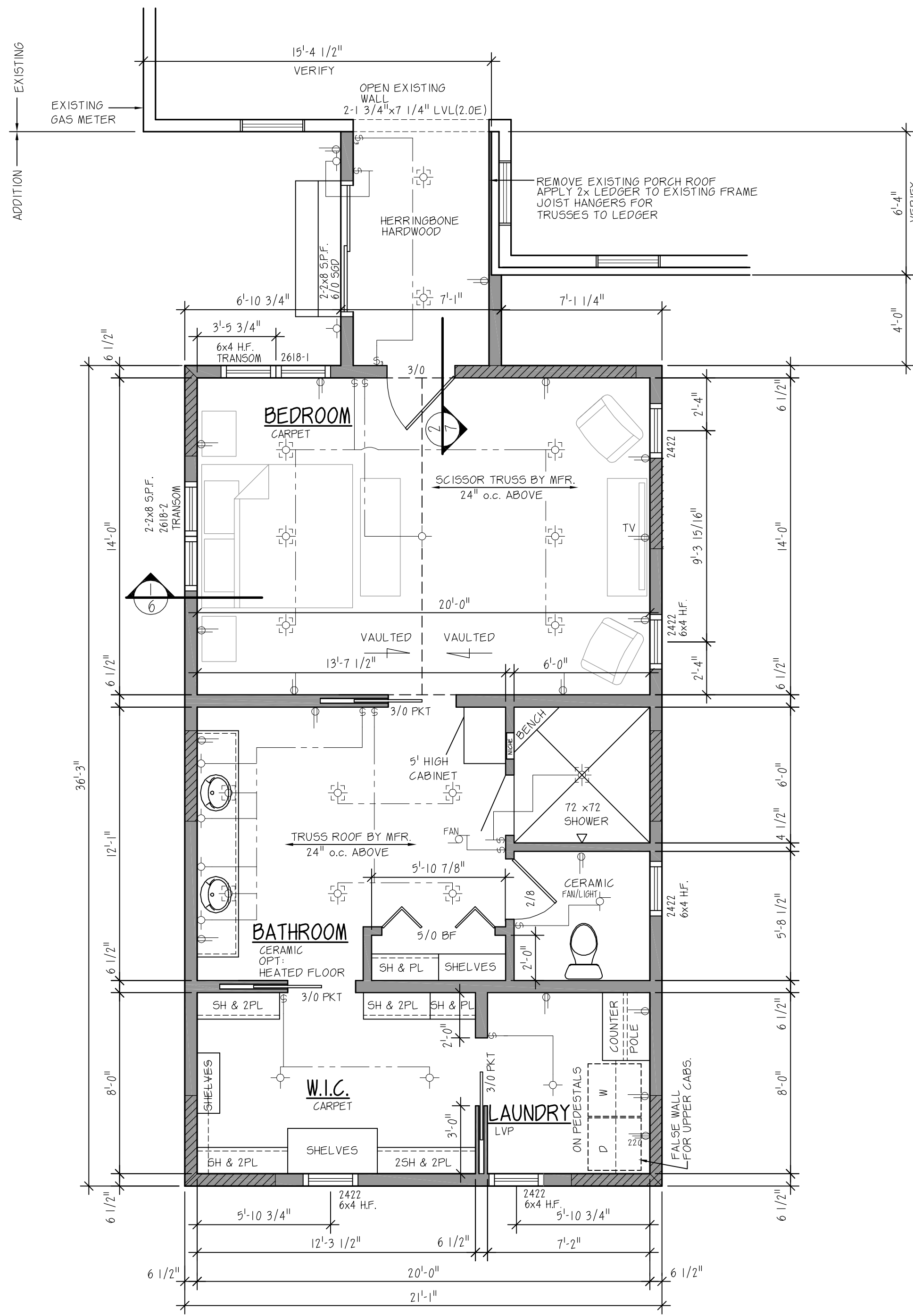
**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

<b>PROJECT</b> ADDITION PLANS FOR: STERNKE RESIDENCE	
<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI. 53024 <a href="http://www.nhb-arch.com/">http://www.nhb-arch.com/</a> 262-377-4730 or 262-375-2397	
<b>JOB NUMBER</b> STE-2507-723	<b>DATE</b> 10/2/2023
<b>REVISIONS:</b>	
<b>SHEET</b> 2 of 7	<b>CHECKED BY:</b> D.S. <b>DRAWN BY:</b> D.S.



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

<b>PROJECT</b> ADDITION PLANS FOR: STERNKE RESIDENCE	
<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS  P.O. BOX 292, GRAFTON, WI. 53024 <a href="http://www.nhv-arch.com/">http://www.nhv-arch.com/</a> 262-377-4730 or 262-375-2397	
<b>JOB NUMBER</b> STE-2507-723	<b>DATE</b> 10/3/2023
<b>REVISIONS:</b>	
<b>SHEET</b> 1 of 3	<b>CHECKED BY:</b> DJS
<b>DRAWN BY:</b> DJS	

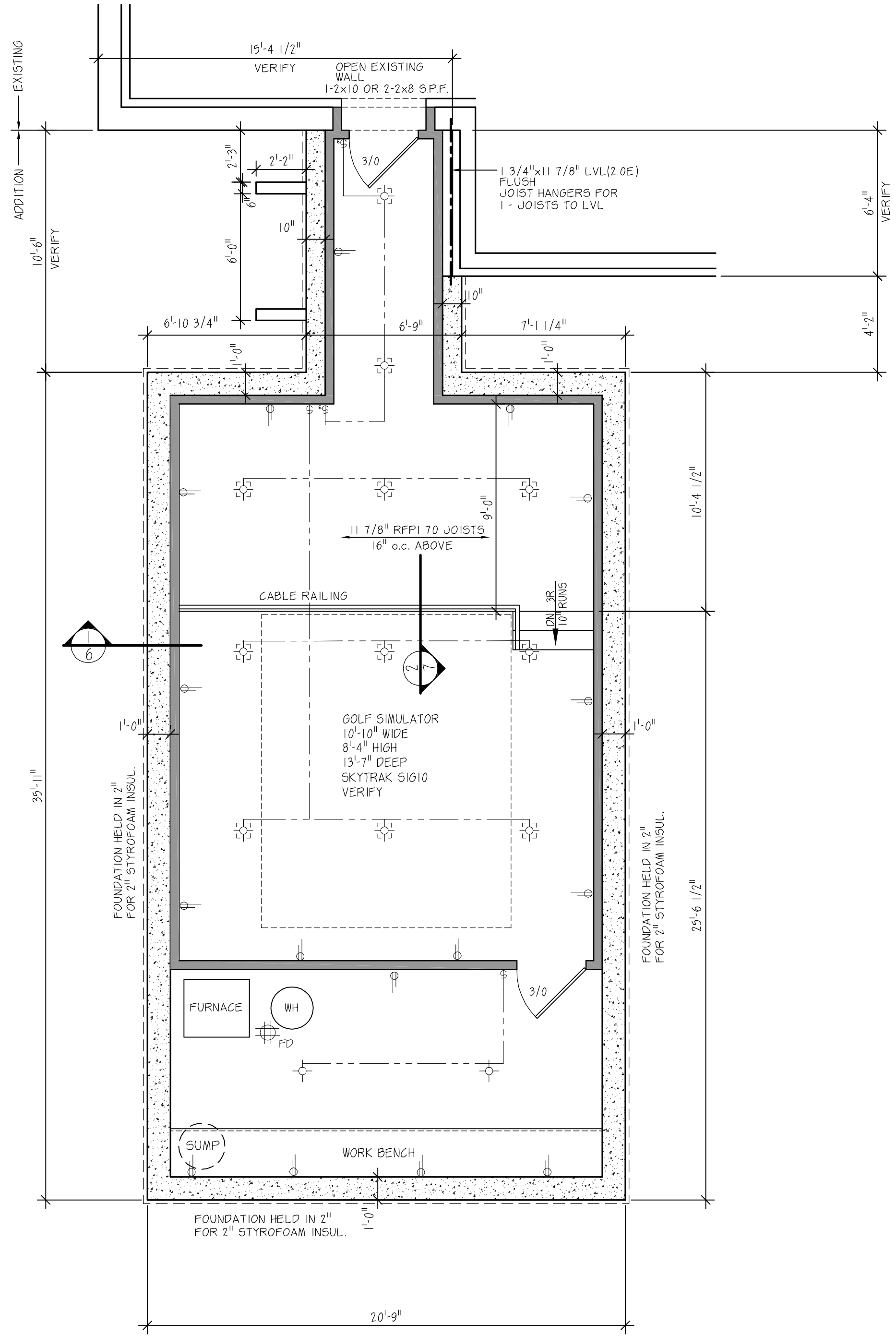


# FLOOR PLAN

SCALE: 1/4" = 1'-0" 829 SQUARE FEET

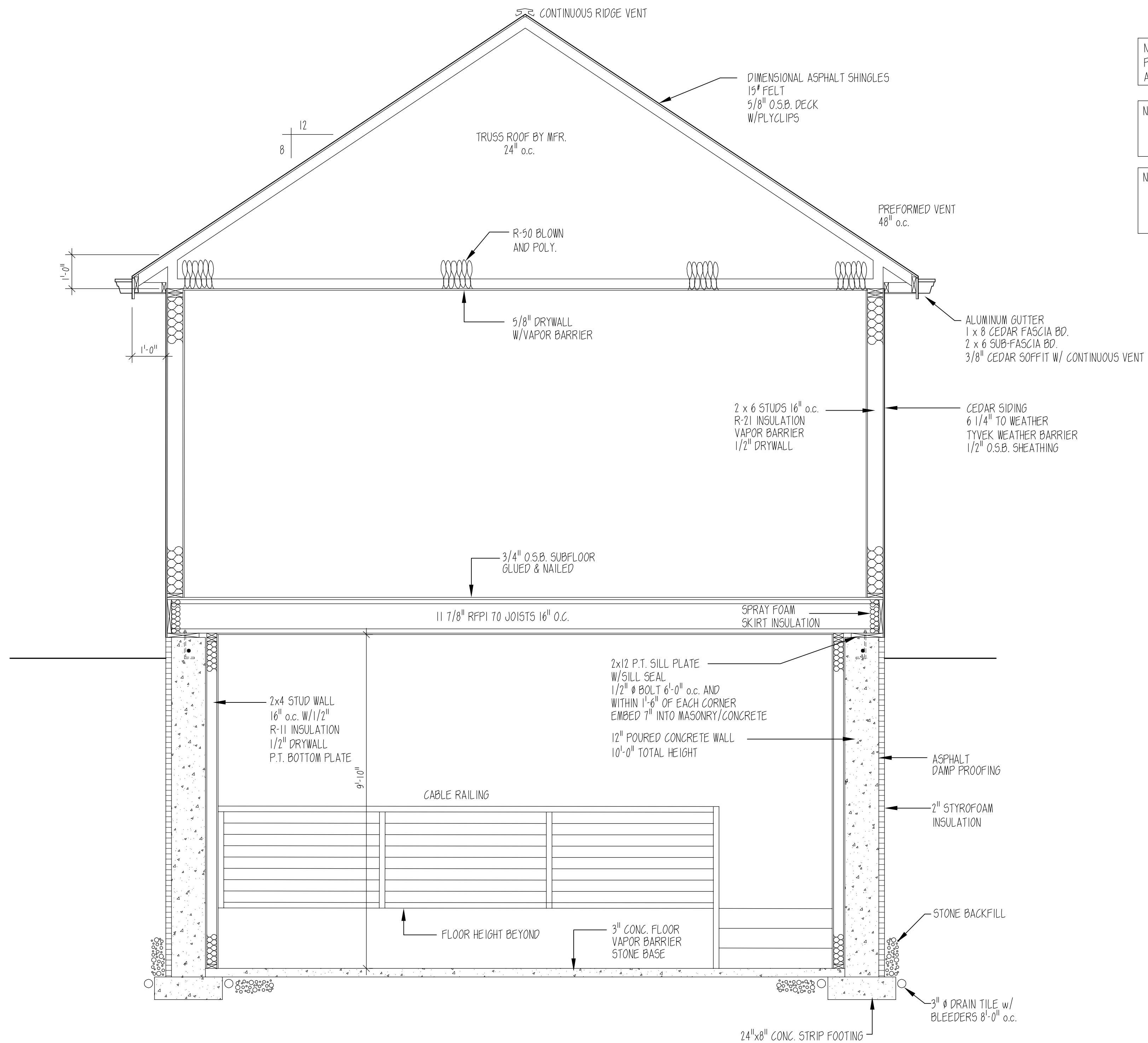
WALL BRACING KEY	
	36" - 48" [8' WALL HT] OR 42" - 48" [9' WALL HT] WOOD STRUCTURAL PANEL SHEATHING OR 1/2" STRUCTURAL FIBERBOARD SHEATHING PER TABLE 21.25-G
	48" OF GYPSUM WALLBOARD (BOTH SIDES)
	SHEATHED 6:1 ASPECT RATIO W/ EXTENDED HEADERS (SEE DETAIL SHT 4)

<b>PROJECT</b> ADDITION PLANS FOR: STERKE RESIDENCE	
P.O. BOX 292, GRAFTON, WI. 53024 <a href="http://www.nhv-arch.com/">http://www.nhv-arch.com/</a> 262-377-4730 or 262-375-2397	
<b>JOB NUMBER</b> STE-2507-723	<b>DATE</b> 10/3/2023
<b>REVISIONS:</b> 10/4/2023	<b>CHECKED BY:</b> D.S.
<b>SHEET</b> 4 OF 7	<b>DRAWN BY:</b> D.S.



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

<b>NEW HORIZON VENTURES, L.L.C.</b> ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI. 53024 <a href="http://www.nhb-arch.com/">http://www.nhb-arch.com/</a> 262-377-4730 or 262-375-2397		<b>PROJECT</b> ADDITION PLANS FOR: STERKE RESIDENCE	
<b>JOB NUMBER</b> STE-2507-723	<b>DATE</b> 10/2/2023	<b>REVISIONS:</b>	
<b>SHEET</b> 1 OF 7	<b>CHECKED BY:</b> D.S.	<b>DRAWN BY:</b> D.S.	



NOTE:  
 PROVIDE AND INSTALL RAFTER CLIPS  
 AT ALL RAFTER AND TRUSS ENDS.

NOTE:  
 CARPENTER CONTRACTOR TO  
 FOLLOW MANUFACTURER'S INSTALLATION  
 DETAILS FOR MANUFACTURED JOISTS

NOTE:  
 FINAL TRUSS LAYOUT BY TRUSS MFR.  
 VERIFY ALL BEARING POINTS  
 TRUSS MFR. TO DESIGN AND PROVIDE  
 ALL TRUSS HANGERS

**SECTION 1**  
 SCALE: 1/2" = 1'-0"

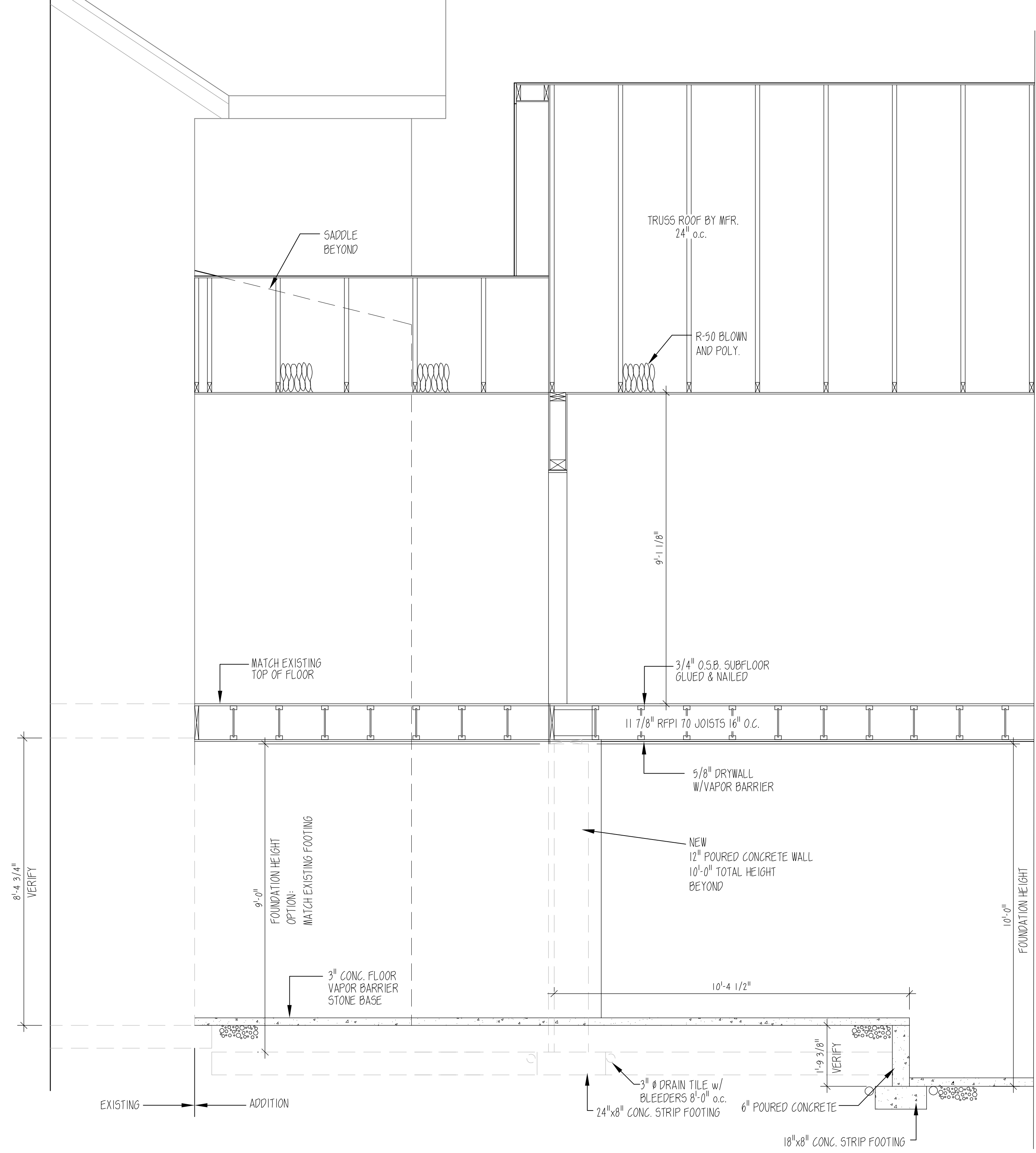
PROJECT  
 ADDITION PLANS FOR:  
 STERNKE RESIDENCE

**NEW HORIZON  
 VENTURES, L.L.C.**  
 ARCHITECTS/PLANNERS  
 P.O. BOX 292, GRAFTON, WI. 53024  
<http://www.nhv-arch.com/>  
 262-377-4730 or 262-375-2397

JOB NUMBER	STE-2507-723
DATE	10/3/2023
REVISIONS:	

SHEET	9 OF 7
CHECKED BY:	D.S.
DRAWN BY:	D.S.





NOTE:  
PROVIDE AND INSTALL RAFTER CLIPS  
AT ALL RAFTER AND TRUSS ENDS.

NOTE:  
CARPENTER CONTRACTOR TO  
FOLLOW MANUFACTURERS INSTALLATION  
DETAILS FOR MANUFACTURED JOISTS

NOTE:  
FINAL TRUSS LAYOUT BY TRUSS MFR.  
VERIFY ALL BEARING POINTS  
TRUSS MFR. TO DESIGN AND PROVIDE  
ALL TRUSS HANGERS

PROJECT  
 ADDITION PLANS FOR:  
 STERNKE RESIDENCE

**NEW HORIZON  
 VENTURES, L.L.C.**  
 ARCHITECTS/PLANNERS  
 P.O. BOX 292, GRAFTON, WI. 53024  
<http://www.nhb-arch.com/>  
 262-377-4730 or 262-375-2397

JOB NUMBER	STE-2507-723
DATE	10/3/2023
REVISIONS:	

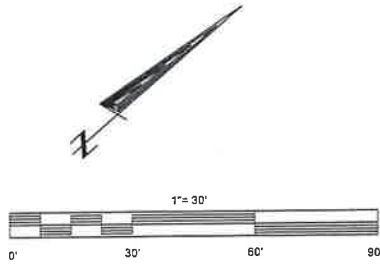
SHEET	7
CHECKED BY:	D.S.
DRAWN BY:	D.S.

**SECTION 2**  
SCALE: 1/2" = 1'-0"

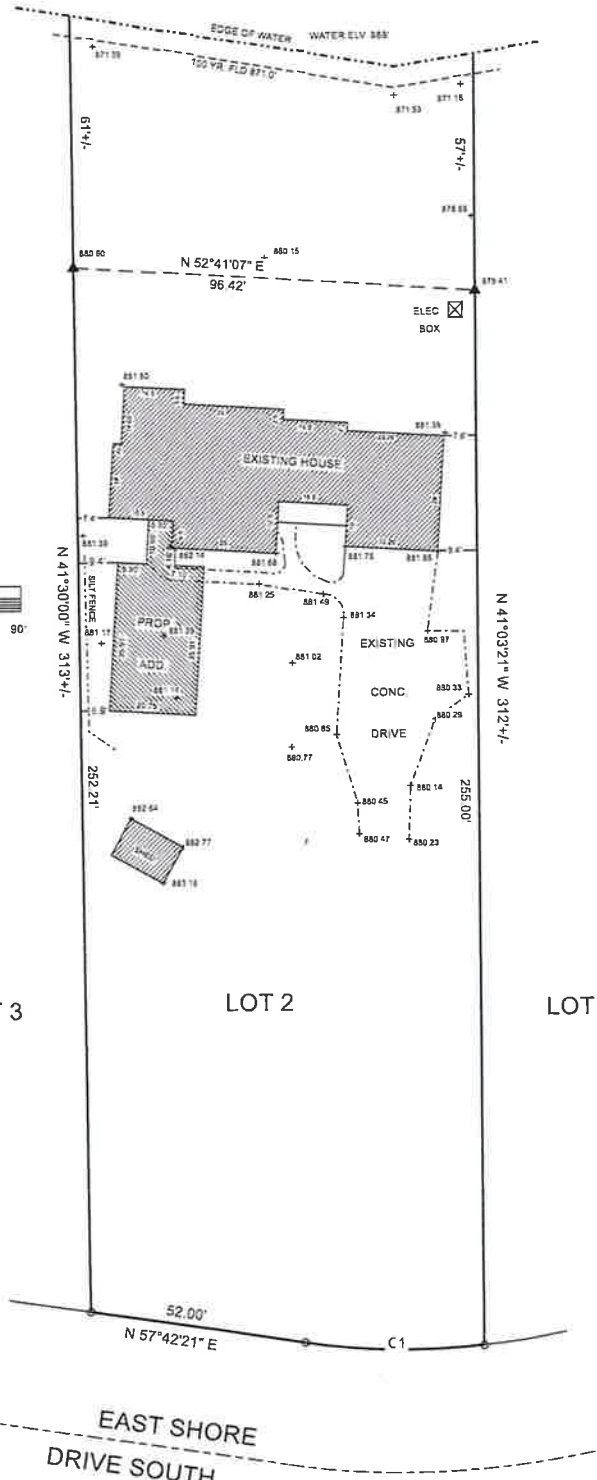
D & H LAND SURVEYS LLC  
 1628 GEORGIA AVENUE  
 SHEBOYGAN, WISCONSIN

41 EAST SHORE DRIVE  
 PARCEL 59176746463  
 BEING LOT 2 OF HICKORY GLEN SUBDIVISION,  
 VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY,  
 WISCONSIN.

RANDOM LAKE



- = 1" IRON PIPE SET
  - ▲ = 1 1/2" REBAR FOUND
  - + = EXISTING GRADE
- LOT AREA 30,000 SQ FT +/-  
 EXISTING HOUSE 2,300 SQ FT  
 PROPOSED ADD 811 SQ FT



THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON  
 IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Dennis J. Van Sluys*  
 Dennis J. Van Sluys S-1235

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING
C1	43.00'	170.00'	42.88'	N 50° 30' 18" E

Dated this 17th day of November, 2023. Revised 1/16/24

DATA/RAND/41ESHORE D-3595

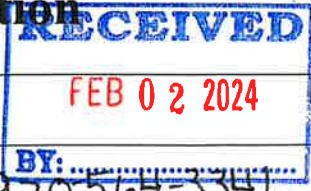




P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. \_\_\_\_\_

## Residential Building Permit Application



Jobsite: 515 Ray Berg Ct. (Lot 4)

Owner's Name: Field Tree Construction Mailing Address (if different from project location above): 110 S. Business Park Dr Phone No.: 920-564-3341

Contractor's Name: Rich Line Builders Contractor's Mailing Address: 11023 Kneppath Rd. Phone No.: 920-994-9811

City, State & Zip Code: Cedar Grove, WI 53013 Email: tr.richline@gmail.com

Dwelling Contractor Certification No.: 5912 Dwelling Contractor Qualifier Certification No.: 1070969

**Please check project type**

New**	<input checked="" type="checkbox"/>	Addition**	<input type="checkbox"/>	Job Description: <u>New construction condo</u>
Alteration*	<input type="checkbox"/>	Repair	<input type="checkbox"/>	

Size \_\_\_\_\_ X \_\_\_\_\_ Sq. Ft. 11600 Height \_\_\_\_\_ Est. Value of Project \$ 400,000

**\*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:**

- 1 set of building plans drawn to scale.

**\*\*ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:**

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2<sup>nd</sup> Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3<sup>rd</sup> Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

**ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE**

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Annie DeBly DATE 1/26/24

**All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections**



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. \_\_\_\_\_

# Residential Building Permit Application



Jobsite: 517 Ray Bern Ct. (Lot 4)

Owner's Name: Field Tree Construction Mailing Address (if different from project location above): 110 S. Business Park Dr. Phone No.: 920-564-3341

Contractor's Name: Rich Line Builders Contractor's Mailing Address: N1023 Knepprath Rd. Phone No.: 920-994-9811

City, State & Zip Code: Cedar Grove, WI 53013 Email: tr.richline@gmail.com

Dwelling Contractor Certification No.: 5912 Dwelling Contractor Qualifier Certification No.: 1070969

**Please check project type**

New**	<input checked="" type="checkbox"/>	Addition**	<input type="checkbox"/>	Job Description: <u>new construction condo</u>
Alteration*	<input type="checkbox"/>	Repair	<input type="checkbox"/>	

Size \_\_\_\_\_ X \_\_\_\_\_ Sq. Ft. 1600 Height \_\_\_\_\_ Est. Value of Project \$ 400,000

**\*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:**

- 1 set of building plans drawn to scale.

**\*\*ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:**

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2<sup>nd</sup> Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3<sup>rd</sup> Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

**ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE**

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Angie DeBluy DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



## **Exterior colors and products for Units 7/8 Raybern Court (Lot 4)**

### **515-517**

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Dark Gray

Anderson casement windows: white

## **Exterior colors and products for Units 21/22 Raybern Ct (Lot 11)**

### **540-542**

Shingles: Certainteed black

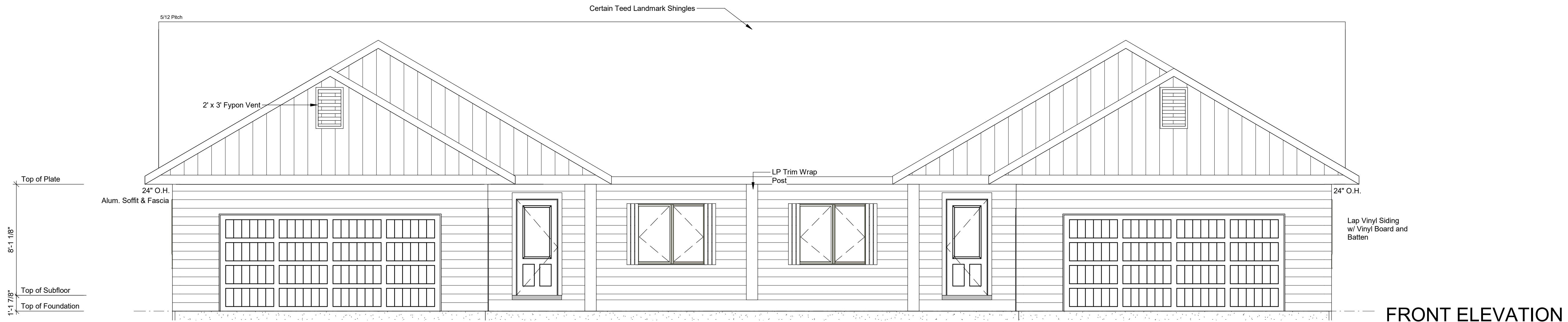
Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Brown

Anderson casement windows: white



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

**NOTICE:**  
THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.  
**FIELD TREE CONSTRUCTION**

DATE:

--	--	--	--	--

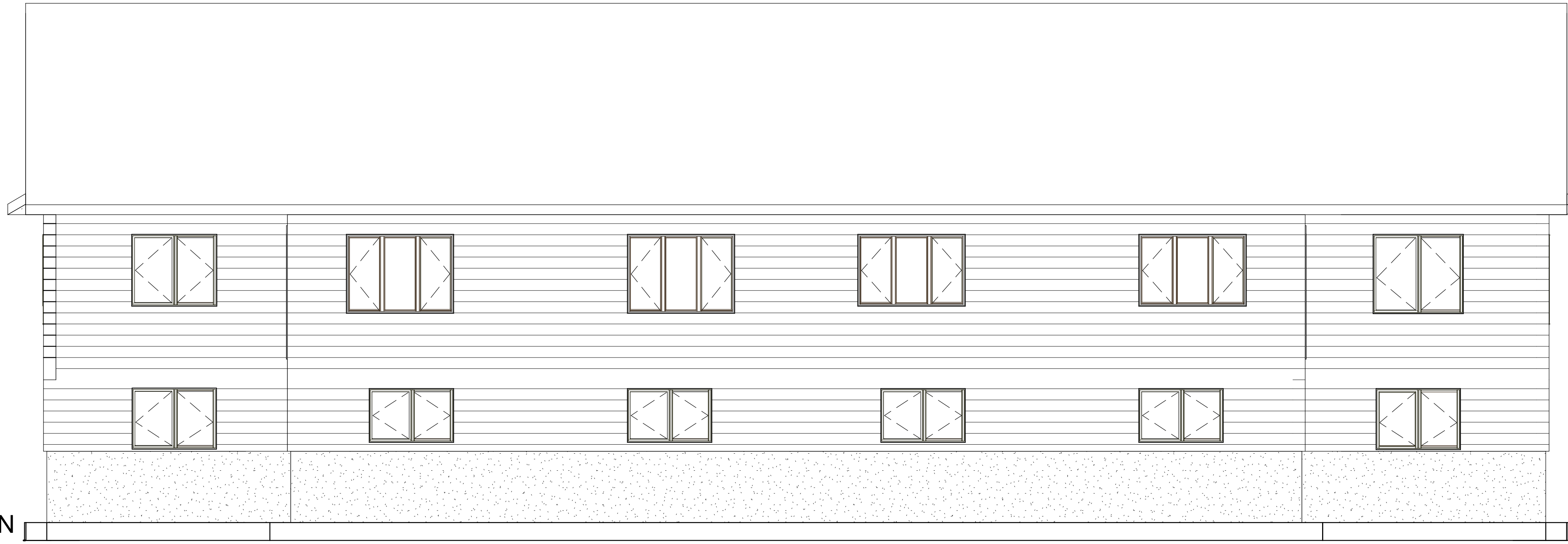
**FIELDtree**  
CUSTOM CONSTRUCTION

PROJECT FOR:  
**RANDOM LAKE -  
THE WOODLAND**

DRAWN BY:  
**Breanna Turner**  
breanna@coastburgconcrete.com  
110 SOUTH BUSINESS PARK DRIVE  
COASTBURG, WI 53070

PAGE:  
**1 OF 5**

REAR ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

**NOTICE:**  
THESE PLANS ARE DESIGNED  
EXCLUSIVELY FOR THE USE  
OF OUR CUSTOMERS. ANY  
REPRODUCTION OR OTHER  
USE IS STRICTLY PROHIBITED  
WITHOUT THE EXPRESSED  
WRITTEN CONSENT OF.  
**FIELD TREE CONSTRUCTION**

DATE:

--	--	--	--	--

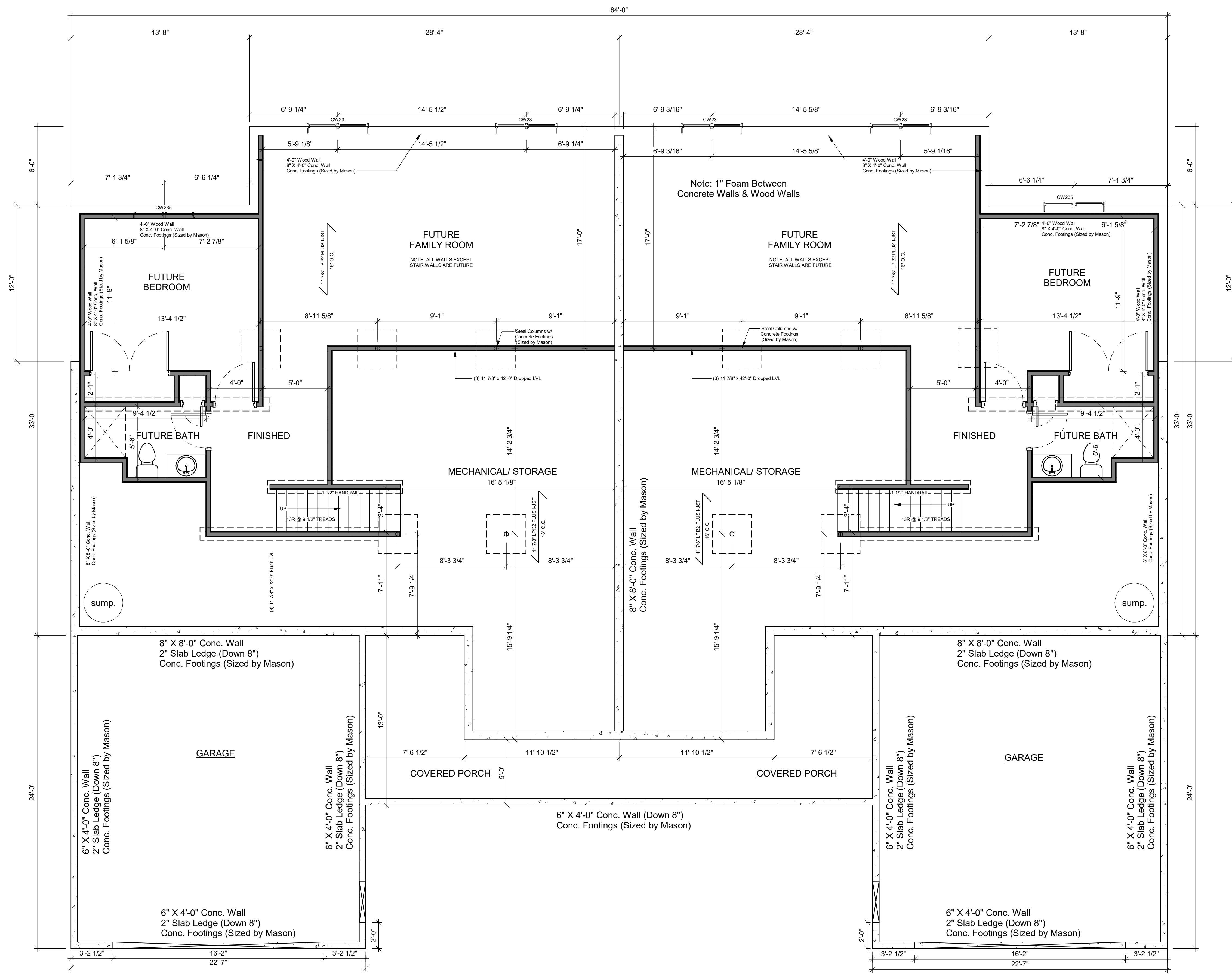
**FIELDTree**  
CUSTOM CONSTRUCTION

PROJECT FOR:  
**RANDOM LAKE -  
THE WOODLAND**

DRAWN BY:  
**Breanna Turner**  
breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE  
COASTBURG, WI 53070

PAGE:  
**2 OF 5**



**GENERAL PLAN NOTES**

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

**FOUNDATION PLAN NOTES**

- ALL FOOTINGS TO BE A MINIMUM OF 48\" BELOW GRADE AND SIZED AS REQUIRED BY SOIL CONDITIONS AND LOCAL BUILDING CODES.
- ADD 3\" TO WIDTH AND HEIGHT OF ALL WINDOWS. ADD 1 1/2\" TO THE HEIGHT AND 3\" TO THE WIDTH OF ALL DOORS TO ALLOW FOR MASONRY ROUGH OPENING.

NOTE  
Add 3\" to Width and Height of all windows. Add 1 1/2\" to the Height and 3\" to the Width of all Doors to Allow for Masonry Rough Opening.

ALL DESIGN AND PLACEMENT OF ALL CONCRETE WORK - BY OTHERS

**BASEMENT**

SCALE: 1/4\" = 1'-0\"

**NOTICE:**

THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

DATE:

**FIELDTree**  
CUSTOM CONSTRUCTION

PROJECT FOR:

**RANDOM LAKE - THE WOODLAND**

DRAWN BY:  
Breanna Turner  
breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE  
COASTBURG, WI 53070

PAGE:  
**3 OF 5**



FIGURE 321.25C  
LOCATION OF BRACED WALL PANELS ALONG A BUILDING SIDE

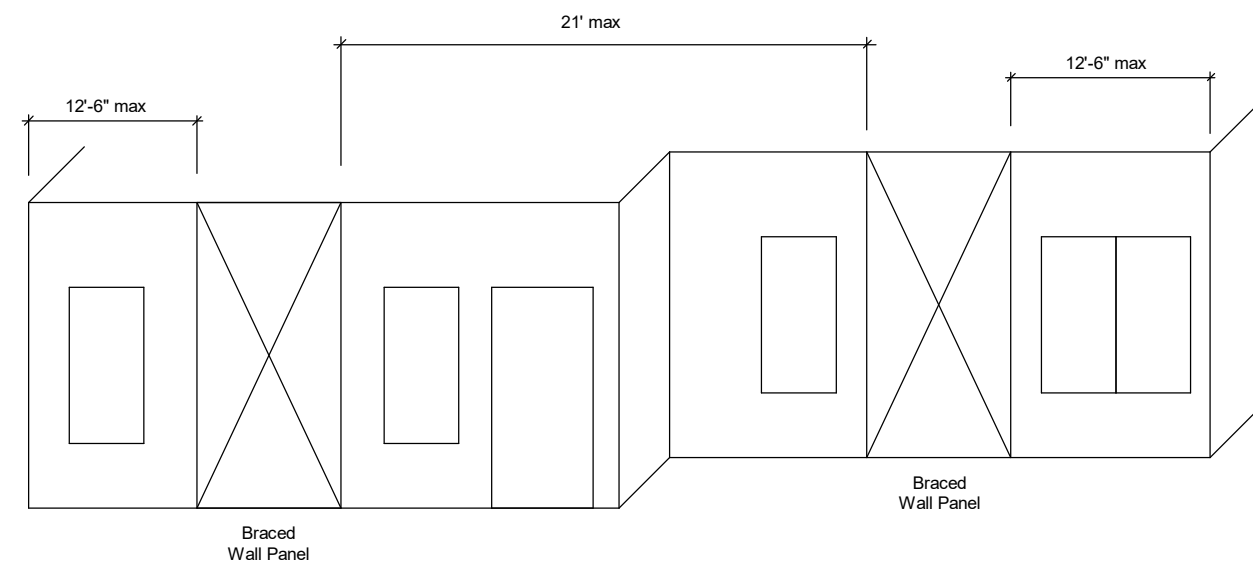


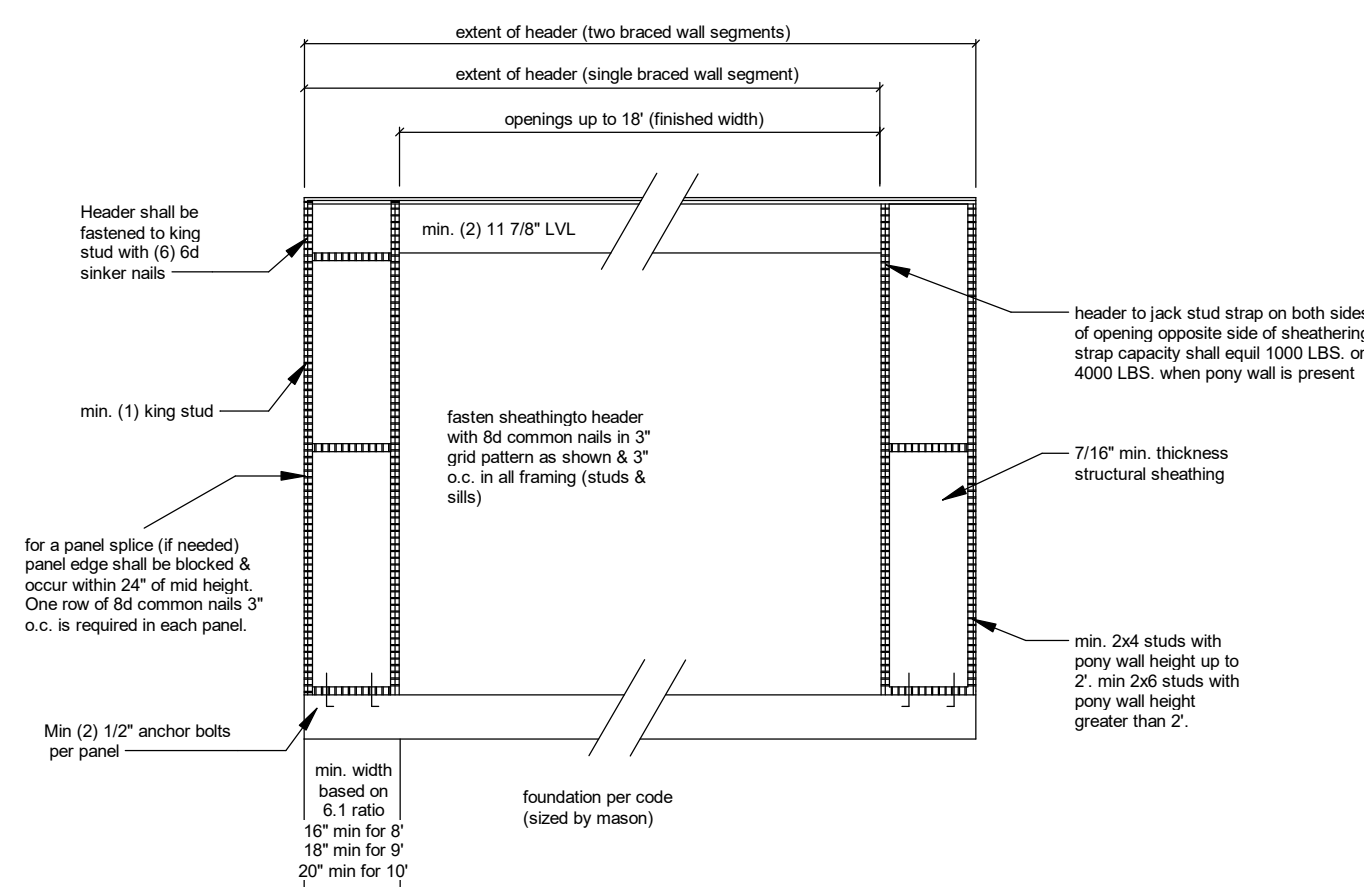
Table 321.25-G  
BRACING METHODS

Method	Minimum Brace Thickness or Size	Maximum Normal Wall Height	Minimum Braced Wall Panel Width or Braced Angle	Connection Criteria	
				Minimum Fasteners	Maximum Spacing
<b>Intermittent Bracing Methods</b>					
WSP Wood Structural Panel	3/8" for maximum 16' o.c. stud spacing 7/16" for maximum 24" o.c. stud spacing	10'	48" with Gypsum on interior 80" without Gypsum on interior	6d common nail or 8d box nail (2-1/2" long x 0.113" diameter) or 7/16" crown 18 gauge staples, 1 1/4" long	6" edges, 12" field (nails) 3" edges, 6" field (staples)
GB Gypsum board (installed on both sides of Wall)	1/2" maximum 24" o.c. stud spacing	10'	96"	5d collar nails, or 6" screws	7" edges, 7" field (including top and bottom plates)
<b>Continuous Sheathed Bracing Methods</b>					
CS-WSP Continuous Sheathed WSP	3/8" for maximum 16' o.c. stud spacing 7/16" for maximum 24" o.c. stud spacing	12'	Refer to Table 321.25-H	Same as WSP	Same as WSP
<b>Narrow Panel Bracing</b>					
PF Portal Frame	7/16"	12'	Refer to Figure 321.25-A	Refer to Figure 321.25-A	Refer to Figure 321.25-A

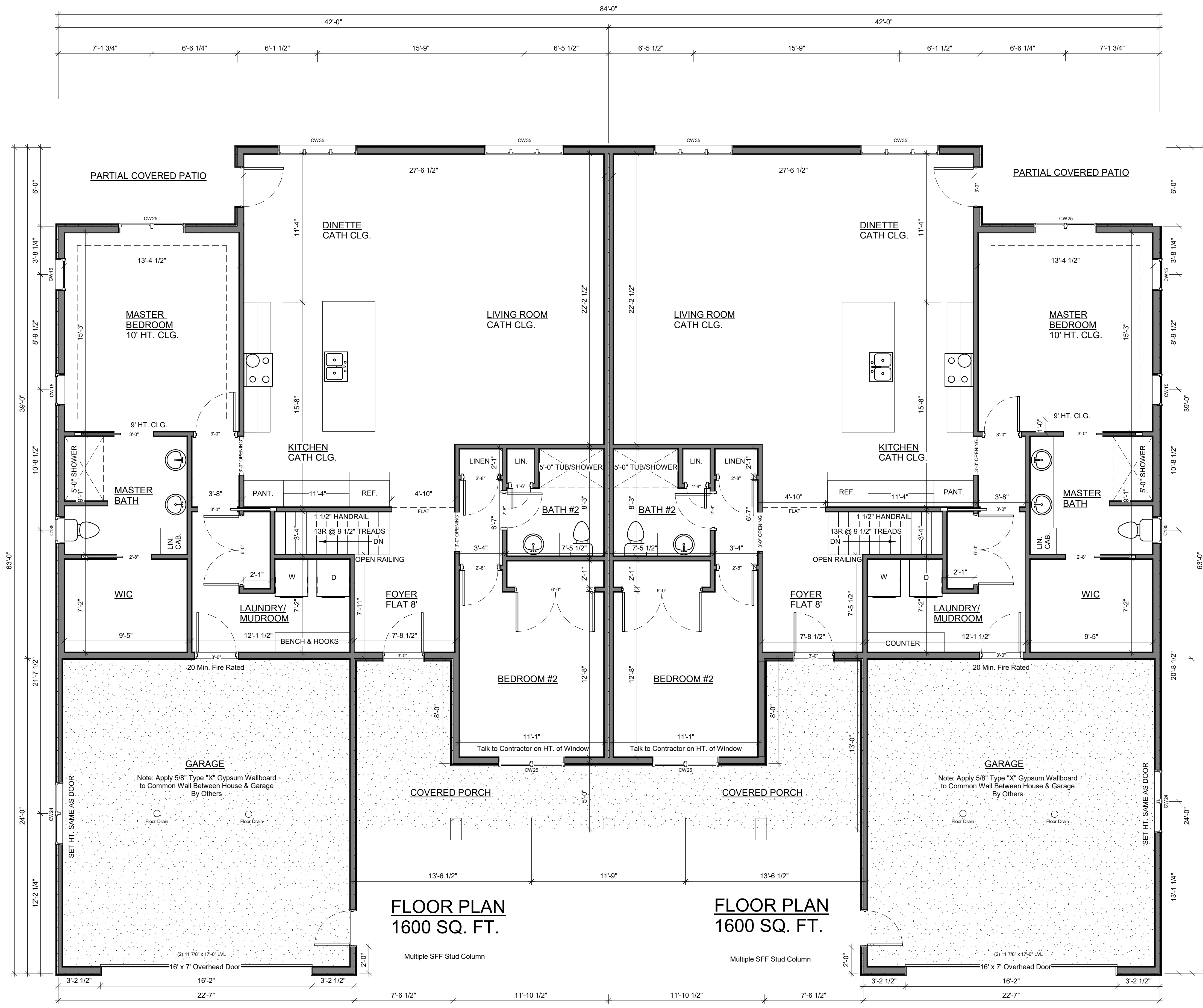
Table 321.25-H  
MINIMUM WIDTHS OF METHOD CS-WSP BRACED WALL PANELS

Maximum Opening Height Adjustment to Braced Wall Panel	Minimum Length of Braced Wall Panel (inches)			
	8' Tall Wall	9' Tall Wall	10' Tall Wall	12' Tall Wall
Up to 5' - 4"	24	27	30	36
Up to 6' - 8"	32	30	30	36
Up to 8'	48	41	38	36
Up to 9'	-	54	46	41
Up to 10'	-	-	60	48
Up to 12'	-	-	-	72

Figure 321.25-A  
METHOD PF - PORTAL FRAME BRACE CONSTRUCTION



NOTE:  
All dimensions are face of stud to face of stud 2x4 (3 1/2"), 2x6 (5 1/2")  
All window header heights to be set at 6'-10 7/8" unless otherwise noted.  
All bearing headers to be (2) 2x12's, unless otherwise noted.  
All exterior window and door sizes are Rough Openings.  
All wall heights to be 8'-1 1/8" unless otherwise noted.



**NOTICE:**

THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

DATE:

**FIELDtree**  
CUSTOM CONSTRUCTION

PROJECT FOR:

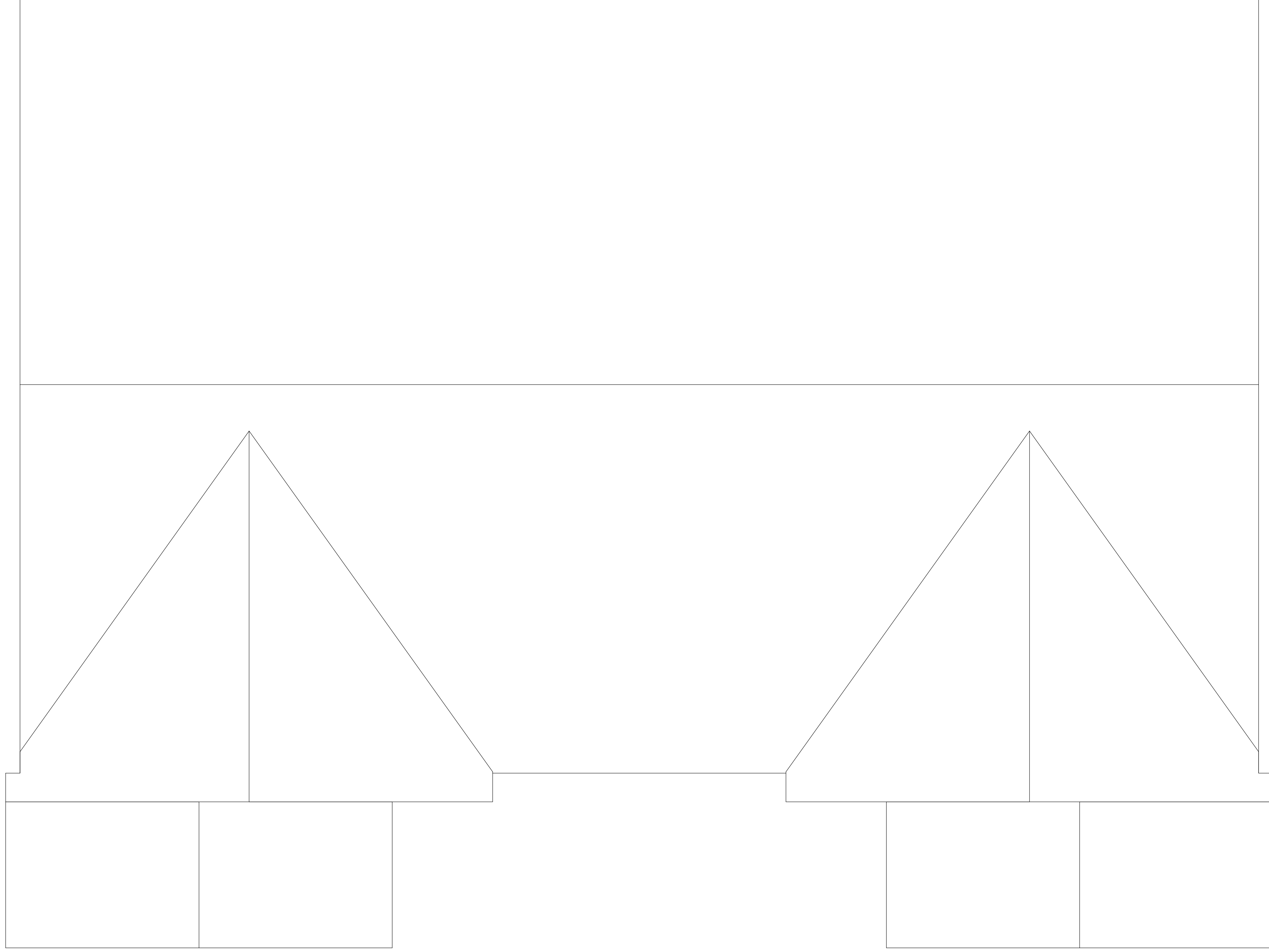
**RANDOM LAKE - THE WOODLAND**

DRAWN BY:  
Breanna Turner  
breanna@coastguardconcrete.com

110 SOUTH BUSINESS PARK DRIVE  
COAST GUARD, WI 53070

PAGE:  
**4 OF 5**





DRAWN BY:  
Breanna Turner  
breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE  
COASTBURG, WI 53070

PAGE:  
5 OF 5

PROJECT FOR:  
RANDOM LAKE -  
THE WOODLAND

**FIELDtree**  
CUSTOM CONSTRUCTION

DATE:

**NOTICE:**

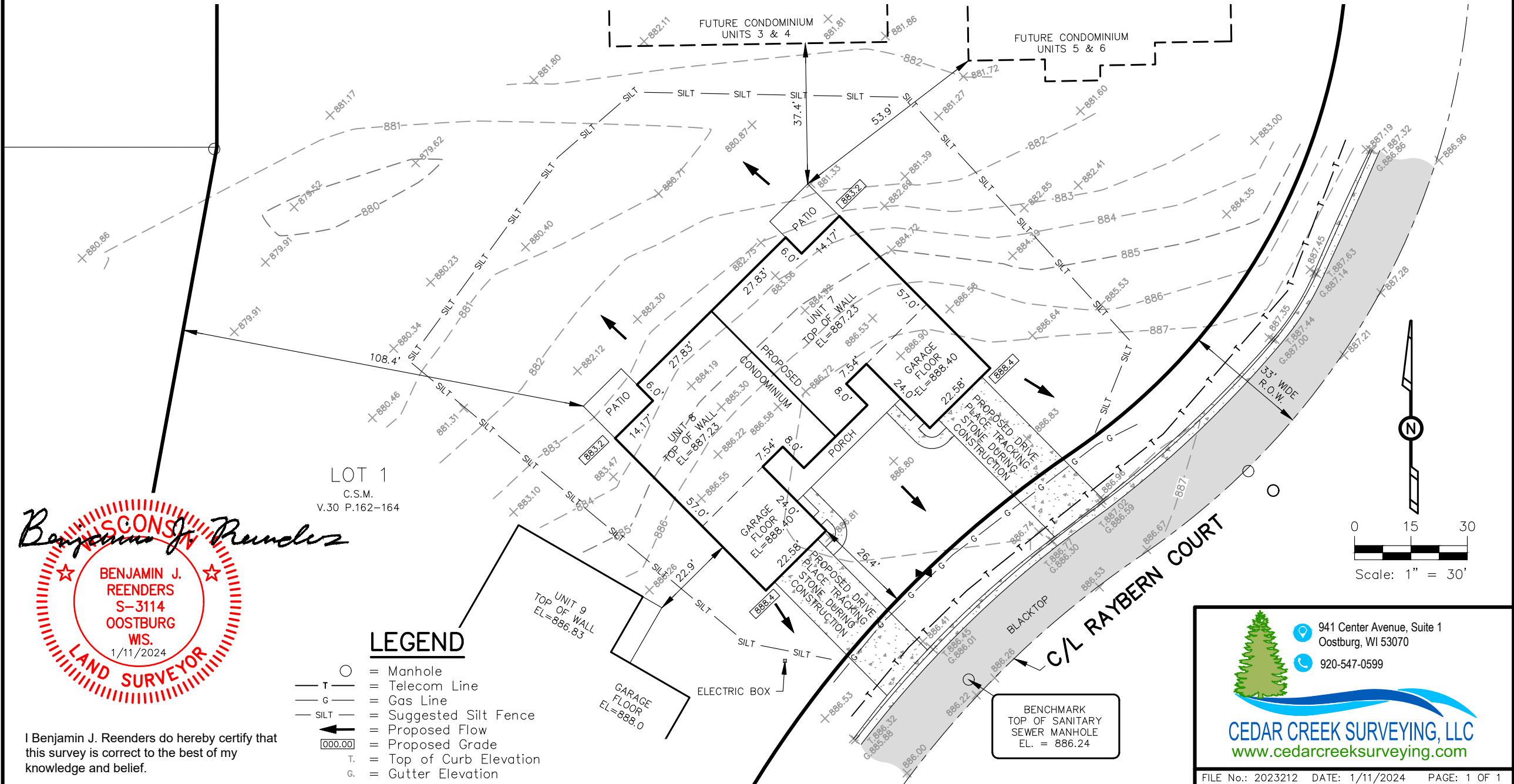
THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

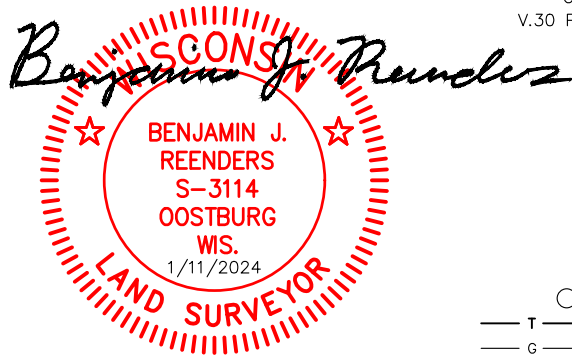
# PLAT OF SURVEY

FOR: Field Tree Construction

Units 7 & 8, Raybern Condominium, Recorded in V.15 P.49-50, Part of the SW 1/4 of the SE 1/4,  
Section 35, T13N, R21E, Village of Random Lake, Sheboygan County, Wisconsin.



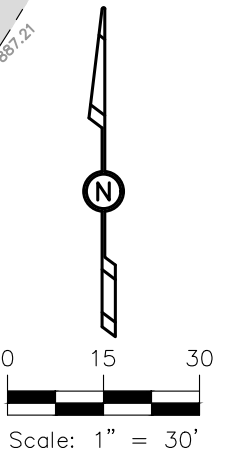
LOT 1  
C.S.M.  
V.30 P.162-164



## LEGEND

- = Manhole
- T — = Telecom Line
- c — = Gas Line
- SILT — = Suggested Silt Fence
- = Proposed Flow
- 000.00 = Proposed Grade
- T. = Top of Curb Elevation
- G. = Gutter Elevation

I Benjamin J. Reenders do hereby certify that this survey is correct to the best of my knowledge and belief.



941 Center Avenue, Suite 1  
Oostburg, WI 53070  
920-547-0599

**CEDAR CREEK SURVEYING, LLC**  
www.cedarcreeksurveying.com





P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. \_\_\_\_\_

# Residential Building Permit Application



Jobsite: 540 Raybern Ct. (Lot 11)

Owner's Name: FieldTree Construction Mailing Address (if different from project location above): 110 S. Business Park Dr. Phone No.: 920-564-3341

Contractor's Name: Rich Line Builders Contractor's Mailing Address: N1023 Knepprath Rd. Phone No.: 920-994-9811

City, State & Zip Code: Cedar Grove, WI 53013 Email: tr.richline@gmail.com

Dwelling Contractor Certification No.: 5912 Dwelling Contractor Qualifier Certification No.: 1070969

### Please check project type

New**	<input checked="" type="checkbox"/>	Addition**		Job Description: <u>New construction condo</u>
Alteration*	<input type="checkbox"/>	Repair		

Size \_\_\_\_\_ X \_\_\_\_\_ Sq. Ft. 1338 Height \_\_\_\_\_ Est. Value of Project \$ 375,000

### \*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

### \*\*ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2<sup>nd</sup> Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3<sup>rd</sup> Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

### ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE [Signature] DATE 1/26/24

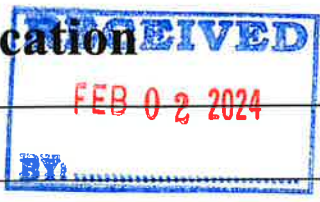
All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. \_\_\_\_\_

Residential Building Permit Application



Jobsite: 542 Ray Bern Ct. (Lot 11)

Field Tree Construction 110 S. Business Park Dr. 920-564-3341
Owner's Name Mailing Address (if different from project location above) Phone No.

Rich Line Builders N1023 Knepprath Rd. 920-994-9811
Contractor's Name Contractor's Mailing Address Phone No.

Cedar Grove, WI 53013 tr.richline@gmail.com
City, State & Zip Code Email

5912 1070969
Dwelling Contractor Certification No. Dwelling Contractor Qualifier Certification No.

Please check project type

Table with columns: New\*\*, Addition\*\*, Alteration\*, Repair, Job Description: New construction condo

Size \_\_\_\_\_ X \_\_\_\_\_ Sq. Ft. 1338 Height \_\_\_\_\_ Est. Value of Project \$ 375,000

\*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

\*\*ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

- 2 sets of paper building plans, 1 set electronic format.
a list of all materials and colors to be used on the exterior.
2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2nd Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3rd Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

Table with columns: DESCRIPTION, FEE. Rows include Building Permit Fee, Plan Review Fee, Architectural Review Board/Planning Commission Fee, (Non-Refundable) Base Permit Charge \$40.00, Total:

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE [Signature] DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



## **Exterior colors and products for Units 7/8 Raybern Court (Lot 4)**

### **515-517**

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Dark Gray

Anderson casement windows: white

## **Exterior colors and products for Units 21/22 Raybern Ct (Lot 11)**

### **540-542**

Shingles: Certainteed black

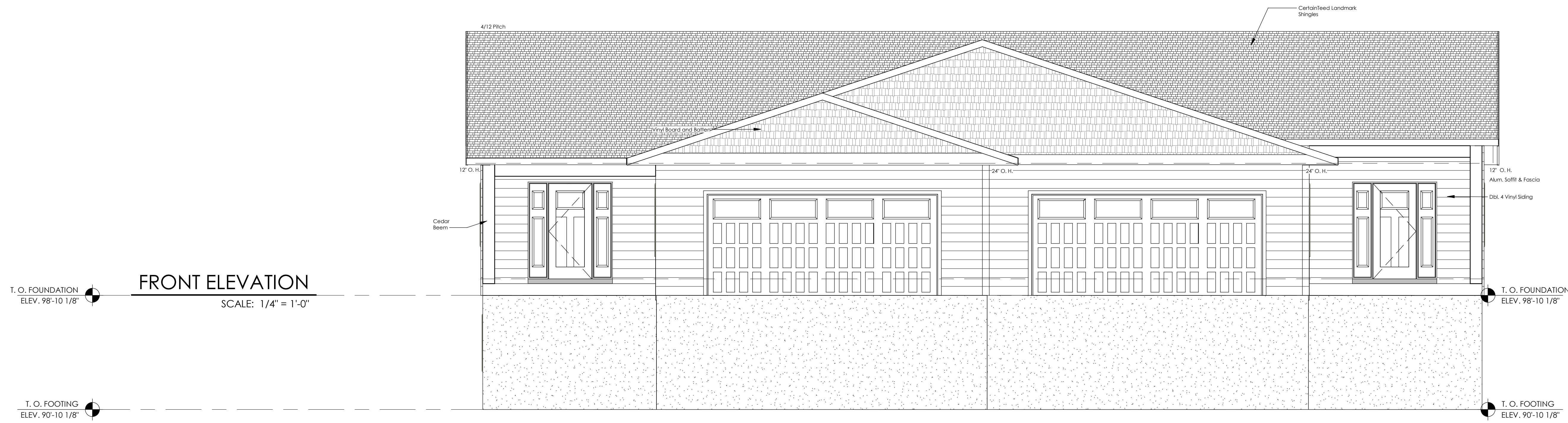
Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Brown

Anderson casement windows: white



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

T. O. FOUNDATION ELEV. 98'-10 1/8" T. O. FOUNDATION ELEV. 98'-10 1/8" T. O. FOUNDATION ELEV. 98'-10 1/8" T. O. FOUNDATION ELEV. 98'-10 1/8"

T. O. FOOTING ELEV. 90'-10 1/8" T. O. FOOTING ELEV. 90'-10 1/8" T. O. FOOTING ELEV. 90'-10 1/8" T. O. FOOTING ELEV. 90'-10 1/8"

T. O. FOUNDATION ELEV. 98'-10 1/8"

T. O. FOOTING ELEV. 90'-10 1/8"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

T. O. FOUNDATION ELEV. 98'-10 1/8" T. O. FOUNDATION ELEV. 98'-10 1/8"

T. O. FOOTING ELEV. 90'-10 1/8" T. O. FOOTING ELEV. 90'-10 1/8"

**NOTICE:**  
 THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.  
**FIELD TREE CONSTRUCTION**

DATE: 11/28/23


**FIELDtree**  
 CUSTOM CONSTRUCTION

PROJECT FOR:  
**WOODLAND VIEW - LOT 11 - UNIT 21 & 22**

DRAWN BY:  
**Breanna Turner**  
 breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE  
 COASTBURG, WI 53070

PAGE:  
**1 OF 5**



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

**NOTICE:**  
THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.  
**FIELD TREE CONSTRUCTION**

DATE: 11/28/23

**FIELDtree**  
CUSTOM CONSTRUCTION

PROJECT FOR:  
**WOODLAND  
VIEW - LOT 11 -  
UNIT 21 & 22**

DRAWN BY:  
**Breanna Turner**  
breanna@coastburgconcrete.com

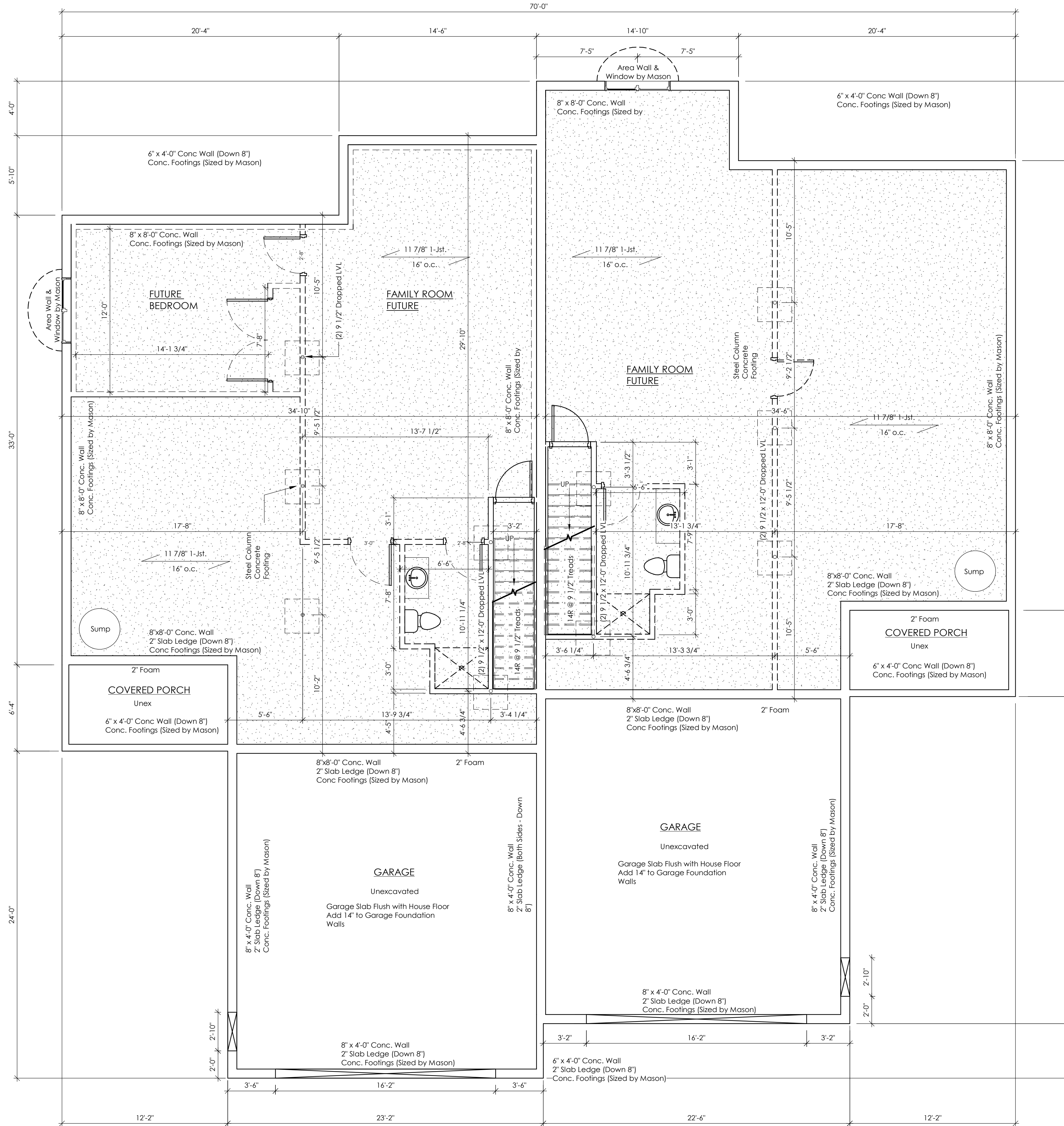
110 SOUTH BUSINESS PARK DRIVE  
COASTBURG, WI 53070

PAGE:  
**2 OF 5**



Note:  
Add 3" to Width and Height  
of all Windows. Add 1 1/2" to  
the  
Height and 3" to the Width of  
all Doors to allow for

NOTE:  
ALL DESIGN AND PLACEMENT OF  
ALL CONCRETE WORK  
-BY OTHERS



**GENERAL PLAN NOTES**

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

**FOUNDATION PLAN NOTES**

- ALL FOOTINGS TO BE A MINIMUM OF 48" BELOW GRADE AND SIZED AS REQUIRED BY SOIL CONDITIONS AND LOCAL BUILDING CODES.
- ADD 3" TO WIDTH AND HEIGHT OF ALL WINDOWS. ADD 1 1/2" TO THE HEIGHT AND 3" TO THE WIDTH OF ALL DOORS TO ALLOW FOR MASONRY ROUGH OPENING.

**NOTICE:**  
THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.

DATE: 11/28/23					
----------------	--	--	--	--	--

**FIELDtree**  
CUSTOM CONSTRUCTION

PROJECT FOR:  
**WOODLAND VIEW - LOT 11 - UNIT 21 & 22**

DRAWN BY:  
Breanna Turner  
breanna@scotburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE  
COOBSBURG, WI 53070

PAGE:  
**3 OF 5**

FIELD TREE CONSTRUCTION



FIGURE 321.25C  
LOCATION OF BRACED WALL PANELS ALONG A BUILDING SIDE

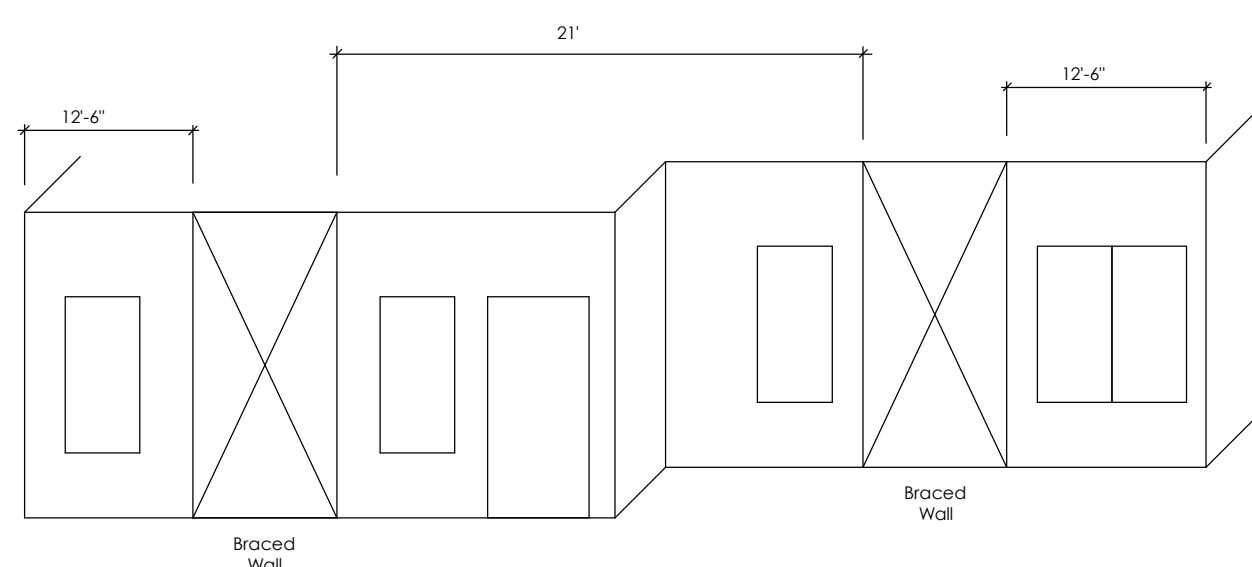


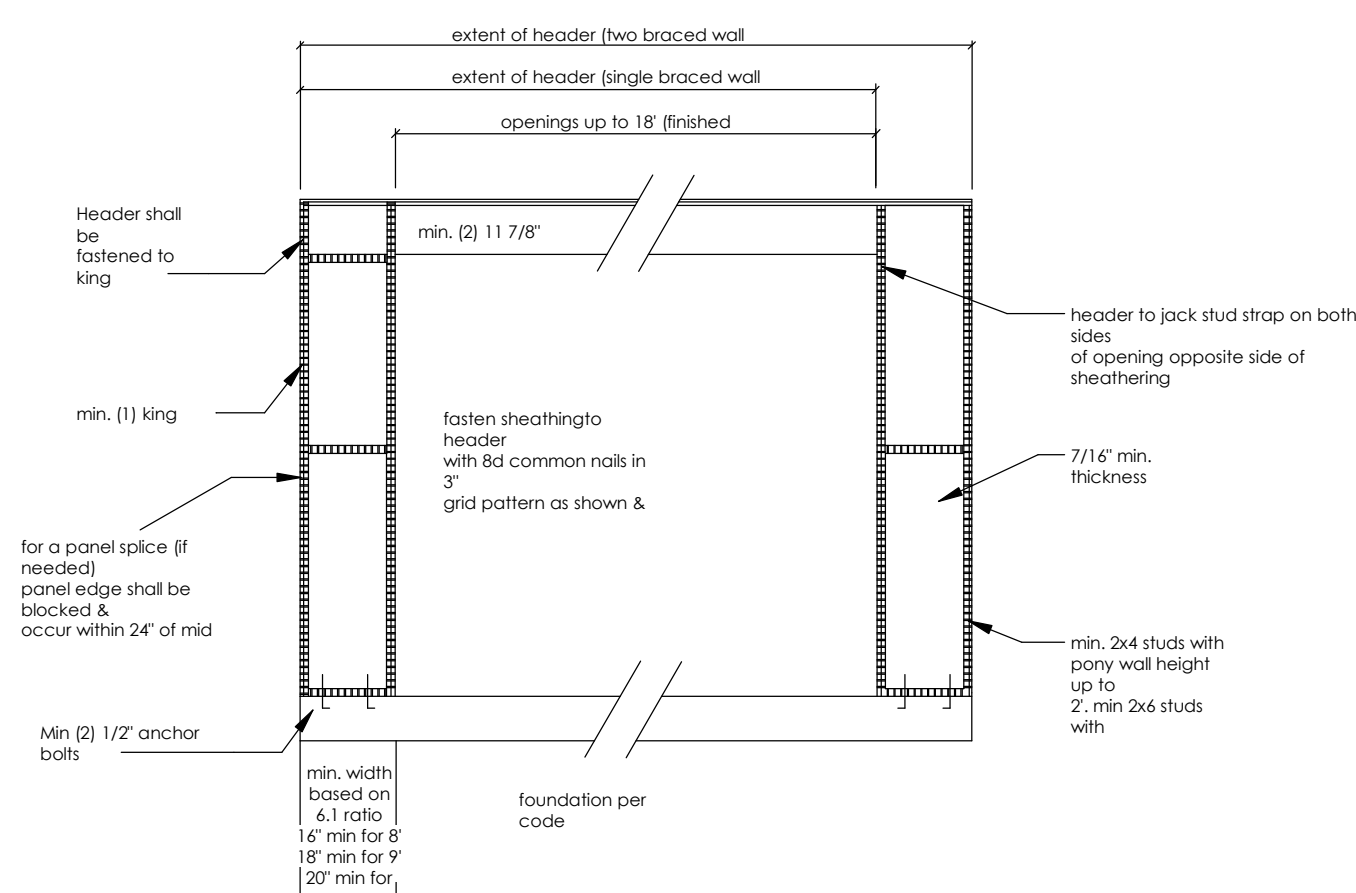
Table 321.25-G  
BRACING METHODS

Method	Minimum Brace Material Thickness or Size	Maximum Normal Wall	Minimum Braced Wall Panel Width or	Connection	
				Minimum Fastener	Maximum
Intermittent Bracing					
WSP Wood Structural	3/8" for maximum 16' o.c. stud spacing 7/16" for maximum 24'	10'	48" with Gypsum 80" without Gypsum	6d common nail or 8d box nail (2-1/2" long x 0.113" diameter) or	6" edges, 12" field (nails) 3" edges, 6"
CS Gypsum board (installed on both sides of)	1/2" maximum 24' o.c. stud spacing 7/16" for maximum 24'	10'	96"	5d collar nail, or	7" edges, 7" field (including top and bottom)
Continuous Sheathed Bracing					
CS-WSP Continuous sheathed	3/8" for maximum 16' o.c. stud spacing 7/16" for maximum 24'	12'	Refer to Table	Same as WSP	Same as WSP
Narrow Panel					
PF Portal	7/16"	12'	Refer to Figure	Refer to Figure	Refer to Figure

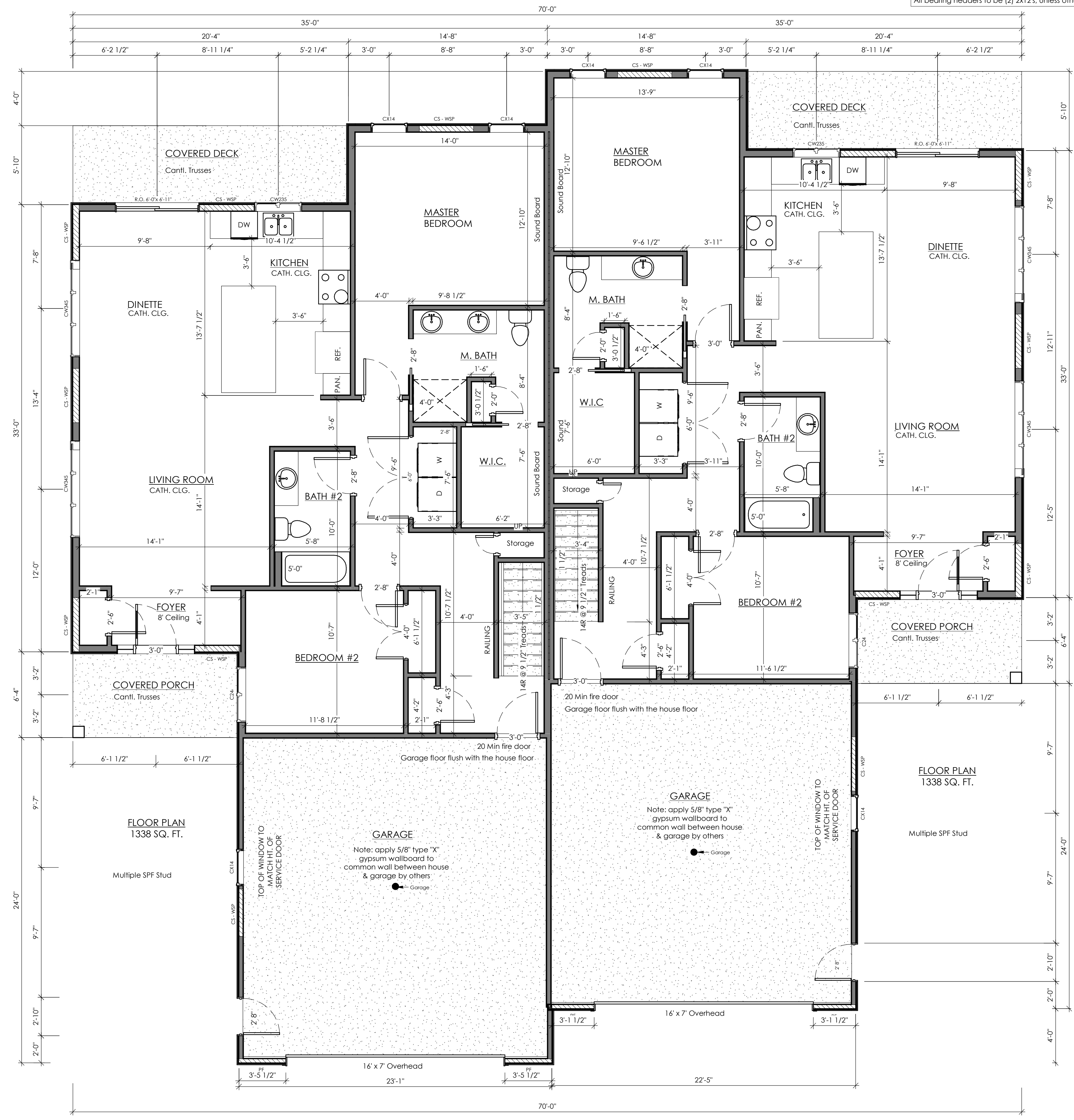
Table 321.25-H  
MINIMUM WIDTHS OF METHOD CS-WSP BRACED WALL PANELS

Maximum Opening Height Adjustment	Minimum Length of Braced Wall Panel			
	8' Tall Wall	9' Tall Wall	10' Tall Wall	12' Tall Wall
Up to 5'	24	27	30	36
Up to 6'	32	30	30	36
Up to 7'	48	41	38	36
Up to 8'	-	54	46	41
Up to 9'	-	-	60	48
Up to 10'	-	-	-	72

Figure 321.25-A  
METHOD PF - PORTAL FRAME BRACE CONSTRUCTION



NOTE:  
All dimensions are face of stud to face of stud 2x4 (3 1/2"), 2x6 (5 1/2")  
All window header heights to be set at 6'-10 7/8" unless otherwise noted.  
All bearing headers to be (2) 2x12s, unless otherwise noted.



NOTICE:

THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

DATE: 11/28/23

**FIELDtree**  
CUSTOM CONSTRUCTION

PROJECT FOR:

WOODLAND  
VIEW - LOT 11 -  
UNIT 21 & 22

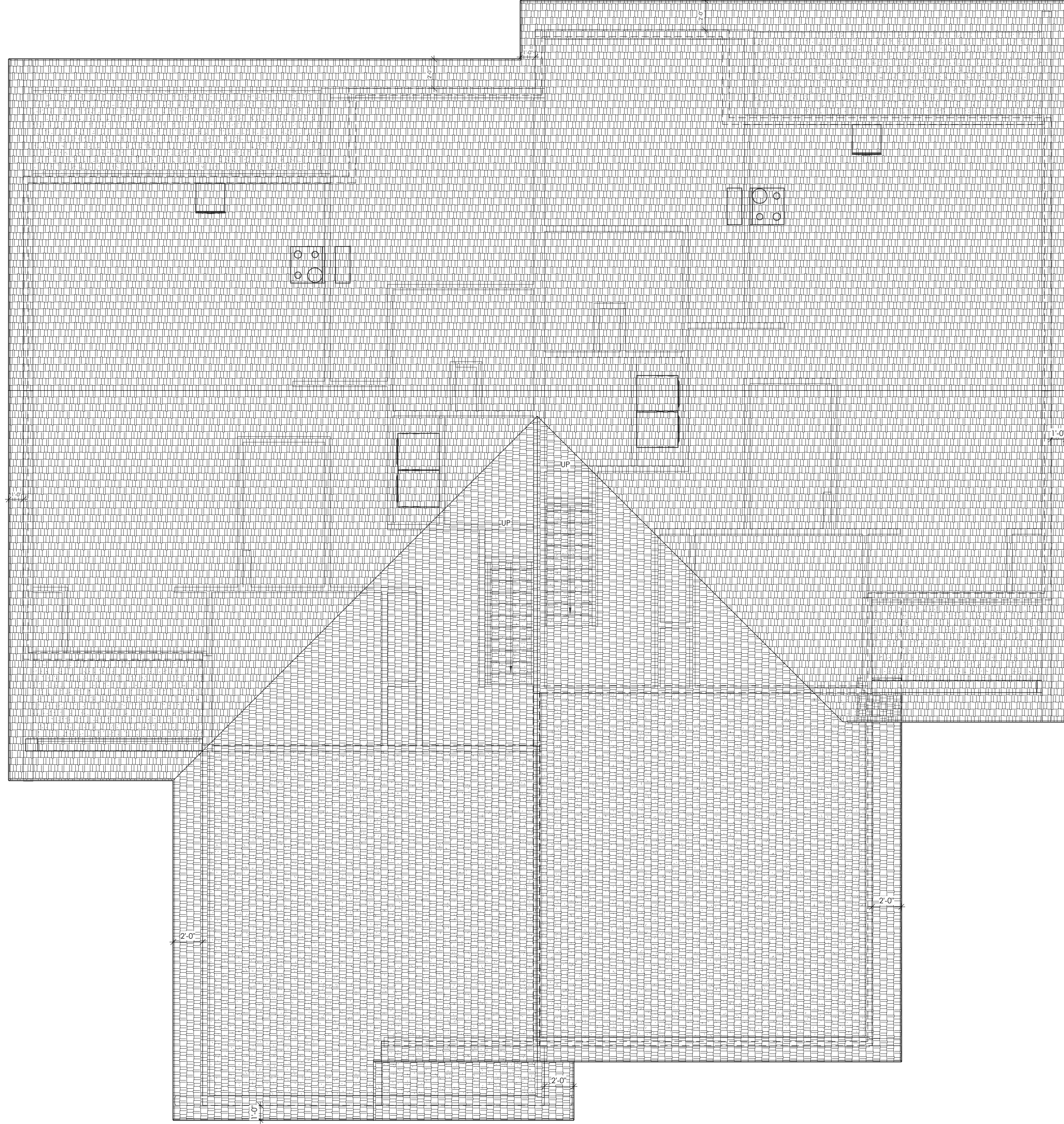
DRAWN BY:  
Breanna Turner  
breanna@fieldtreeconcrete.com

110 SOUTH BUSINESS PARK DRIVE  
COOBBURG, WI 53070

PAGE:  
4 OF 5

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"





NOTE:  
 All dimensions are face of stud to face of stud 2x4 (3 1/2"), 2x6 (5 1/2")  
 All window header heights to be set at 6'-10 7/8" unless otherwise noted.  
 All bearing headers to be (2) 2x12s, unless otherwise noted.

DRAWN BY:  
 Breanna Turner  
 breanna@coastburgconcrete.com

PROJECT FOR:  
 WOODLAND  
 VIEW - LOT 11 -  
 UNIT 21 & 22

110 SOUTH BUSINESS PARK DRIVE  
 COASTBURG, WI 53070

PAGE:  
 5 OF 5

DATE: 11/28/23

# FIELDtree

CUSTOM CONSTRUCTION

**NOTICE:**

THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.

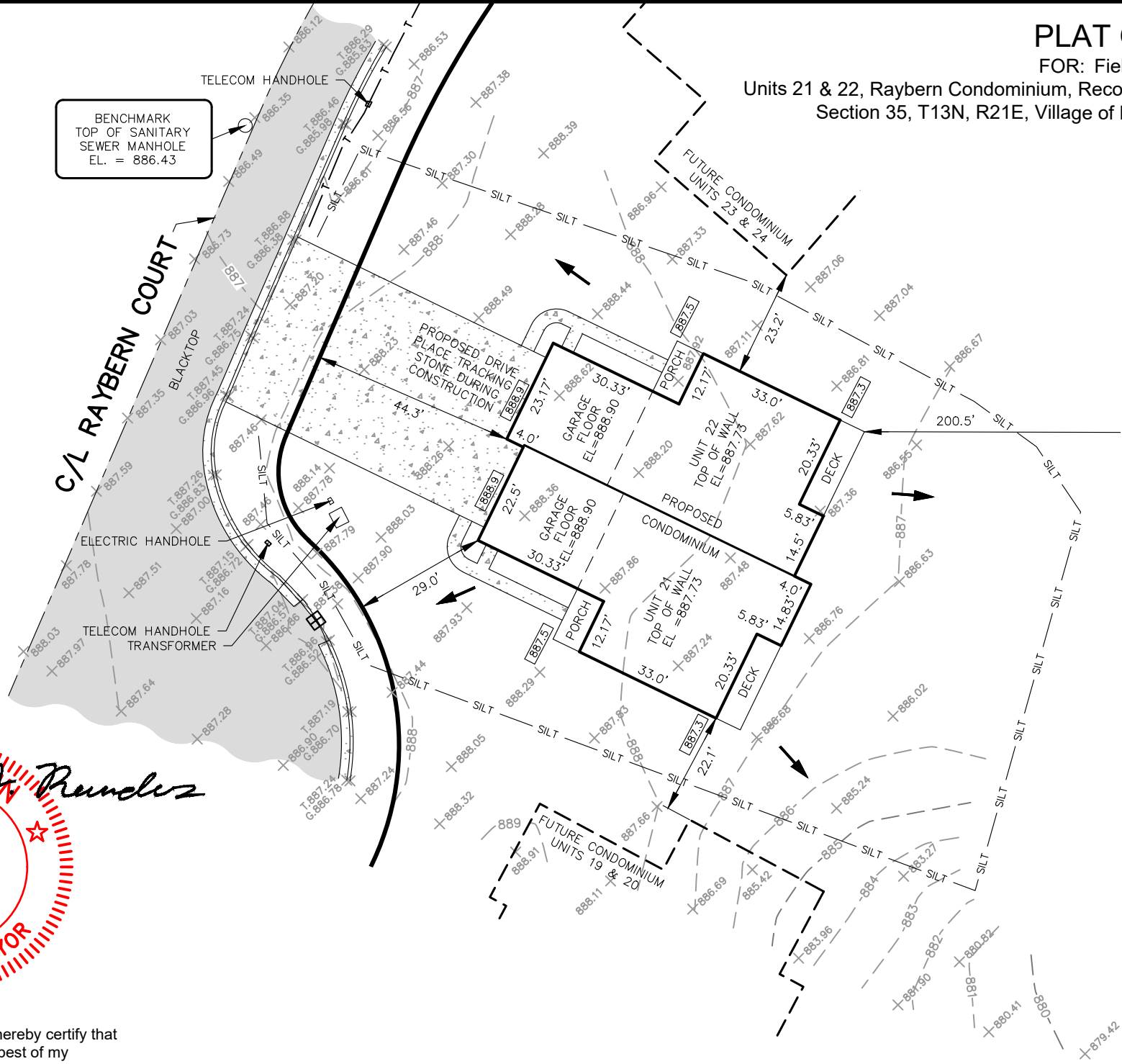
FIELD TREE CONSTRUCTION



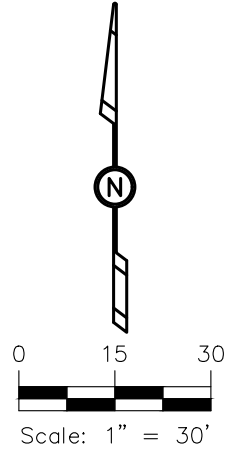
# PLAT OF SURVEY

FOR: Field Tree Construction

Units 21 & 22, Raybern Condominium, Recorded in V.15 P.49-50, Part of the SW 1/4 of the SE 1/4, Section 35, T13N, R21E, Village of Random Lake, Sheboygan County, Wisconsin.

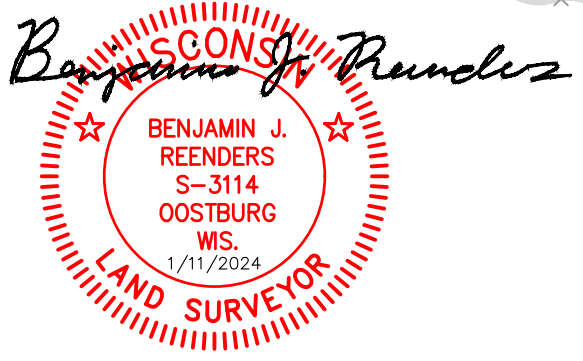


BENCHMARK  
TOP OF SANITARY  
SEWER MANHOLE  
EL. = 886.43



## LEGEND

- = Manhole
- = Catch Basin
- = Telecom Line
- = Suggested Silt Fence
- = Proposed Flow
- = Proposed Grade
- T. = Top of Curb Elevation
- G. = Gutter Elevation



I Benjamin J. Reenders do hereby certify that this survey is correct to the best of my knowledge and belief.

941 Center Avenue, Suite 1  
Oostburg, WI 53070  
920-547-0599

**CEDAR CREEK SURVEYING, LLC**  
www.cedarcreeksurveying.com





P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. \_\_\_\_\_

## Residential Building Permit Application

<b>Jobsite:</b>	Lot 7, East Shore Drive, Random Lake, WI
-----------------	--

Charles J. & Barbara J. Mueller	12 Orth Drive, Random Lake, WI 53075	414-550-1668 - Chuck
<b>Owner's Name</b>	<b>Mailing Address (if different from project location above)</b>	<b>Phone No.</b>
JH Universal Construction LLC	5038 Cal Drive	262-305-5490 - Joe Herther
<b>Contractor's Name</b>	<b>Contractor's Mailing Address</b>	<b>Phone No.</b>
West Bend, WI 53095	info@jhuniversal.com	
<b>City, State &amp; Zip Code</b>	<b>Email</b>	
091200027	09200014	
<b>Dwelling Contractor Certification No.</b>	<b>Dwelling Contractor Qualifier Certification No.</b>	

**Please check project type**

<input checked="" type="checkbox"/> <b>New**</b>	x	<input type="checkbox"/> <b>Addition**</b>		<b>Job Description:</b> New home build
<input type="checkbox"/> <b>Alteration*</b>		<input type="checkbox"/> <b>Repair</b>		

Size 74' 1/2" X 95' 9 1/4" Sq. Ft. 6,881 Height 32 Est. Value of Project \$ \$1,564,245

**\*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:**

- 1 set of building plans drawn to scale.

**\*\*ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:**

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2<sup>nd</sup> Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3<sup>rd</sup> Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	<b>\$40.00</b>
<b>Total:</b>	

**ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE**

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Joseph Herther DATE 2-13-24

**All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections**

## **Mueller**

### **New Home Build**

#### **Lot 7, East Shore Drive**

##### Exterior Materials:

- Shingles – weathered
  - Asphalt shingles
- Siding - Sand Dunes
  - LP SmartSide
- Trim - Snowscape White
  - LP SmartSide
- Windows – White – Anderson 400 Series
- Steel Roof - Banished Slate – on dormers and rear garage

BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION



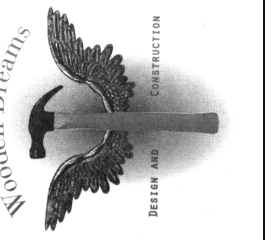
1 FRONT ENTRY/GARAGE  
 A-1 NO SCALE

NEW HOME:  
 BARB & CHUCK MUELLER  
 RANDOM LAKE, WISCONSIN

A-1

ISSUE/REVISION

A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



DESIGN CONCEPT PLANS BY:  
 WOODEN DREAMS, INC.  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645



BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION



1 LAKE/KITCHEN SIDE  
 A-2 NO SCALE

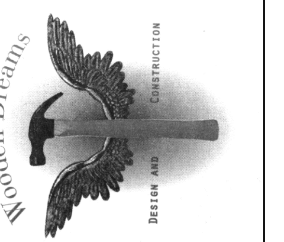


2 LOWER GARAGE/LAKE SIDE  
 A-2 NO SCALE



3 GARAGE/LOWER GARAGE  
 A-2 NO SCALE

DESIGN CONCEPT PLANS BY:  
 WOODEN DREAMS, INC.  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:  
 BARB & CHUCK MUELLER  
 RANDOM LAKE, WISCONSIN

A-2



BID SET ONLY —  
NOT FOR PERMIT  
NOT FOR CONSTRUCTION



1 FRONT  
A-3

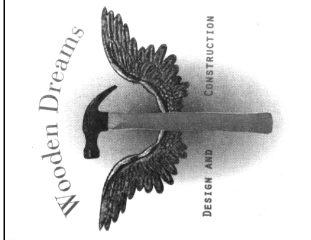
3/8" = 1'-0"

NEW HOME:  
BARB & CHUCK MUELLER  
RANDOM LAKE, WISCONSIN

A-3

ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



DESIGN CONCEPT PLANS BY:  
WOODEN DREAMS, INC.  
1883 SIOUX BLVD.  
NEW BRIGHTON, MN 55112 651-636-7645



BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

1  
A-4 KITCHEN SIDE

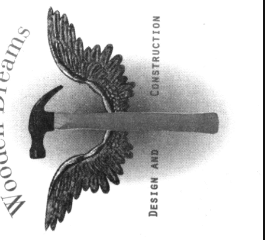
1/4" = 1'-0"

NEW HOME:  
 BARB & CHUCK MUELLER  
 RANDOM LAKE, WISCONSIN

A-4

ISSUE/REVISION

A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



DESIGN CONCEPT PLANS BY:  
 WOODEN DREAMS, INC.  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645

BID SET ONLY —  
NOT FOR PERMIT  
NOT FOR CONSTRUCTION



1  
A-5 LAKE SIDE

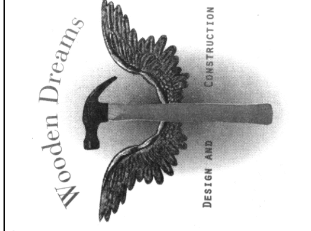
3/8" = 1'-0"

NEW HOME:  
BARB & CHUCK MUELLER  
RANDOM LAKE, WISCONSIN

A-5

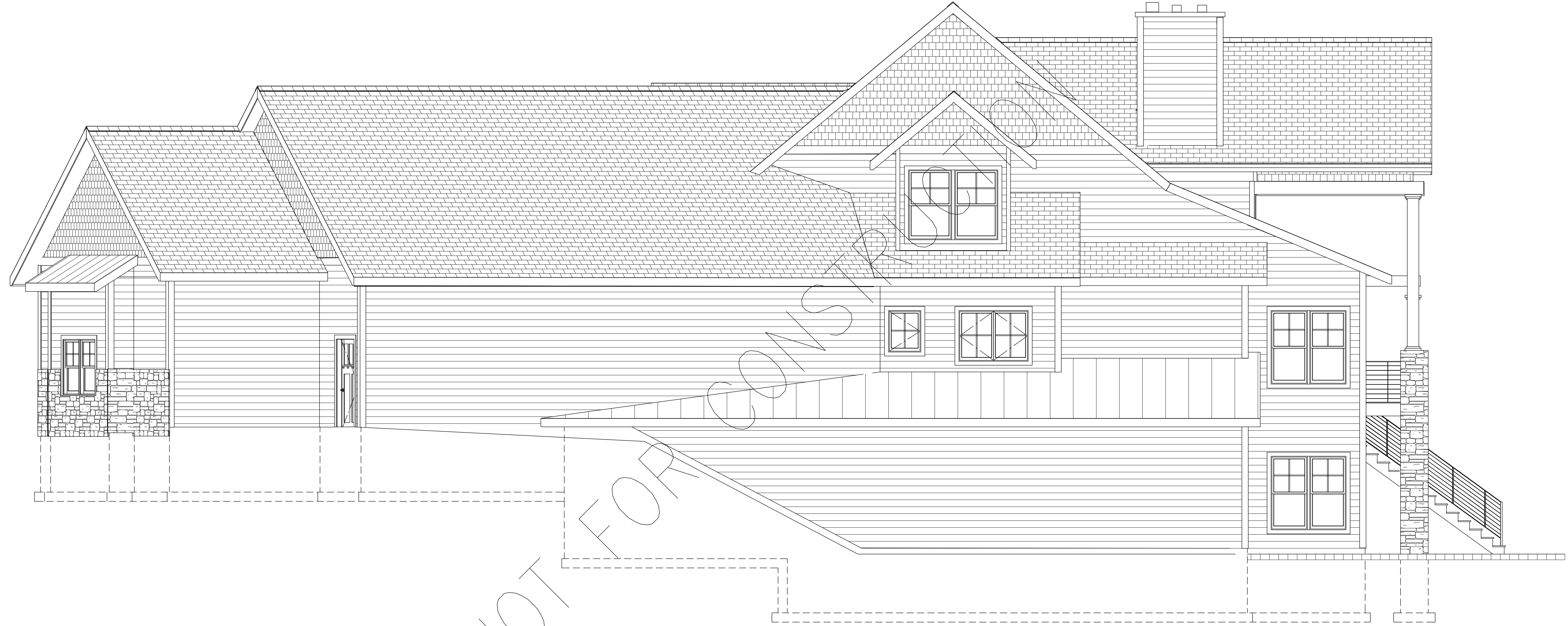
ISSUE/REVISION

ISSUE/REVISION	1/16/23	BID SET
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



DESIGN CONCEPT PLANS BY:  
WOODEN DREAMS, INC.  
1883 SIOUX BLVD.  
NEW BRIGHTON, MN 55112 651-636-7645

BID SET ONLY —  
NOT FOR PERMIT  
NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

1 LOWER GARAGE SIDE  
A-6

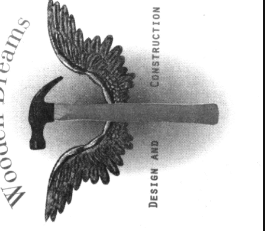
1/4" = 1'-0"

NEW HOME:  
BARB & CHUCK MUELLER  
RANDOM LAKE, WISCONSIN

A-6

ISSUE/REVISION

ISSUE/REVISION	1/16/23	BID SET
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



DESIGN CONCEPT PLANS BY:  
WOODEN DREAMS, INC.  
1883 SIOUX BLVD.  
NEW BRIGHTON, MN 55112 651-636-7645

# BID SET ONLY – NOT FOR PERMIT NOT FOR CONSTRUCTION

## GENERAL NOTES:

1. BID SET ONLY – NOT FOR PERMIT – NOT FOR CONSTRUCTION. PLANS ARE CONCEPTUAL DESIGN STAGE ONLY. ALL ELEVATIONS AND PLANS INCLUDING SECTIONS FOR BID SET ARE REPRESENTATIONAL.

FURTHERANCE OF PLANS REQUIRES COORDINATION AND INFORMATION PROVIDED BY TRUSS MFR., STRUCTURAL ENGINEER (CURRENTLY LICENSED IN THE STATE OF PROJECT) SURVEYOR, SOIL TESTING COMPANY AND BUILDER/CONTRACTOR.

2. FOR BIDDING PURPOSES ALL EXTERIOR STUD WALLS AND INTERIOR LOAD BEARING WALLS TO BE SPF #2 AND BETTER. EXTERIOR SHEATHING TO BE 1/2" PLYWOOD. 30# FELT IN PLACE OF AIR FILTRATION BARRIER, SUBFLOOR TO BE 3/4" T&G PLYWOOD, FLOORING UNDERLAYMENT TO BE 3/8" AC PLYWOOD IN AREAS OF LVT AND CARPET (NOT SHOWN ON PLAN), ROOF SHEATHING TO BE 1/2" OSB. FINAL STUD TYPES AND SHEATHING/DECKING TO BE DETERMINED BY STRUCTURAL ENGINEER. INTERIOR AND EXTERIOR STONE TO BE CULTURED STONE. LP SIDING AND TRIM.

3. INTERIOR TIMBER DESIGN ON PLANS IS PURELY FOR GRAPHICAL PURPOSES AND FINAL DESIGN TO BE COORDINATED BETWEEN TIMBER DESIGNER/SUPPLIER, E.O.R., BUILDER AND OWNER.

4. FOUNDATION DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE FOUNDATION WALL. EXTERIOR DOOR/WINDOWS ON FOUNDATION PLAN AND FRAMING PLANS ARE TO FACE OF STUDS – INTERIOR DIMENSIONS ARE TO FACE OF STUDS. HOLD-OUTS FOR GARAGE O.H DOORS AND SERVICE DOOR LOCATIONS TO BE VERIFIED.

5. CEILING AND WALL INSULATION REQUIREMENTS TO BE PER LOCAL CODE. SPRAY FOAM ALL RIM AREAS. SPRAY FOAM INSULATION TO BE A CLOSED CELL SPRAY FOAM. FIRE BARRIER SEALANT AT ALL PENETRATIONS.

6. HEATING CONTRACTOR TO PROVIDE HEAT LOSS CALCULATIONS.

7. DOOR/WINDOW/CABINET/FIXTURE SCHEDULES ARE AUTO-GENERATED. VERIFY SIZES, TYPE, QUANTITY AND LOCATIONS. WINDOWS & PATIO DOORS TO HAVE CLAD EXTERIOR, LOW E2 W/ ARGON, SDL'S AS PER PLAN HARDWARE TO BE DETERMINED. INTERIOR DOORS – TRUSTILE TS3300 OR EQUAL, STICKING TO BE DETERMINED. FRONT DOOR TRUSTILE OR EQUAL W/ ROUND TOP TO LINE UP WITH SIDELIGHTS. GARAGE DOORS TO BE DETERMINED. COORDINATE WITH E.O.R. IF WINDOWS AND DOOR SIZES ARE DIFFERENT THAN PLAN.

8. HYDRONIC IN-FLOOR HEATING TO BE INSTALLED IN LOWER LEVEL WHERE INDICATED, MAIN LEVEL GARAGE AND MASTER BATHROOM.

9. ALL LOADS AND FORCES, INCLUDING BUT NOT LIMITED TO, WIND, SNOW, SEISMIC (WHERE APPLICABLE) HEADERS, BEAMS, STUDS, COLUMNS, TALL/NARROW WALL REQUIREMENTS, FOOTING SIZES, C.I.P. WALL SIZES, CONNECTORS, REINFORCEMENT AND CONCRETE STRENGTH AND TYPE TO BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER WITH A LICENSE IN THE STATE OF CONSTRUCTION.

10. SMOKE ALARMS & CO DETECTORS REQUIRED IN ACCORDANCE WITH CURRENT CODE AND NOT SHOWN ON PLAN.

11. ALL ENGINEERED TRUSSES BY TRUSS DESIGNER/SUPPLIER TO PROVIDE DESIGN, CONNECTION AND LOADING DIAGRAMS, WHERE APPLICABLE. ROOF TRUSS DESIGN WILL INCLUDE WIND AND SNOW LOADS AND FLOOR TRUSS DESIGN WILL INCLUDE ADDED WEIGHT DUE TO APPLICATIONS OF CULTURED STONE VENEER, GRANITE COUNTER TOPS OR GYPCRETE & CERAMIC TILE FLOORING. RECESSED FLOOR IN MASTER BATH FLOOR & ROOF TRUSS FRAMING LAYOUT SHOWN ON PLAN IS PRELIMINARY AND SUBJECT TO DESIGN CHANGES BY TRUSS MFR/SUPPLIER. ANY DISCREPANCIES OR CHANGES TO BE BROUGHT TO THE ATTENTION OF E.O.R. AND THE BUILDER/CONTRACTOR.

12. TRUSS SUPPLIER TO PROVIDE SPACE THROUGH FLOOR TRUSSES FOR HEATING/COOLING DUCTS. TRUSS DESIGN IN MASTER BATHROOM TO ALLOW FOR DROPPED FLOOR.

13. UPPER CHASE IS OFFSET FROM LOWER CHASE. MAINTAIN 1'-0" MIN DISTANCE FROM VALLEY TO LOW SIDE OF CHASE.

14. ALL FLOOR AND ROOF GIRDER TRUSSES, LVLS, JACK/KING STUDS TO BE BLOCKED/POSTED DOWN TO FOUNDATION AND INCLUDED AS PART OF BID, AS WELL AS MISCELLANEOUS LUMBER/LABOR FOR BLOCKING/BRACING PER MFR. SPECS.

15. ALL EXTERIOR/INTERIOR PRODUCTS/MATERIALS/FINISHES ARE TO BE SPECIFIED BY OWNER AND THESE INCLUDE BUT ARE NOT LIMITED TO: CULTURED STONE, SIDING, TRIM, ROOFING, FLOORING, PAINT, CABINETS, COUNTERS, FIREPLACES, HARDWARE, LIGHTING AND LOCATION OF OUTLETS, SWITCHES AND ALL PLUMBING FIXTURES.

16. RADON MITIGATION TO BE DESIGNED AND INSTALLED BY QUALIFIED RADON MITIGATION SPECIALIST IN CONJUNCTION WITH PERIMETER DRAIN TILE & SUMP PIT AND INCLUDED AS PART OF BID.

17. FINAL PLAN LAYOUT, EXTERIOR AND INTERIOR DIMENSIONS, AS WELL AS VERTICAL DIMENSIONS AND INTERIOR AND EXTERIOR ELEVATIONS WILL BE COORDINATED WITH EXISTING SITE CONDITIONS PER SURVEYED SITE PLAN, STRUCTURAL DESIGN, TIMBER FRAMING DESIGN WHERE APPLICABLE AND TRUSS DESIGN REQUIREMENTS.

18. CULTURED STONE VENEER/SIDING/PONY WALLS ON SIDES OF HOUSE ALONG WITH EXTENTS OF FULL HEIGHT CAST IN PLACE CONCRETE WALLS TO BE COORDINATED WITH SITE PLAN WHEN ONE IS PROVIDED WITH PROPOSED FINISHED GRADING.

19. INTERIOR FOOTINGS NOT SUBJECT TO FREEZE/THAW MAY BE THICKENED SLAB – SIZE & REINF. BY STRUCTURAL.

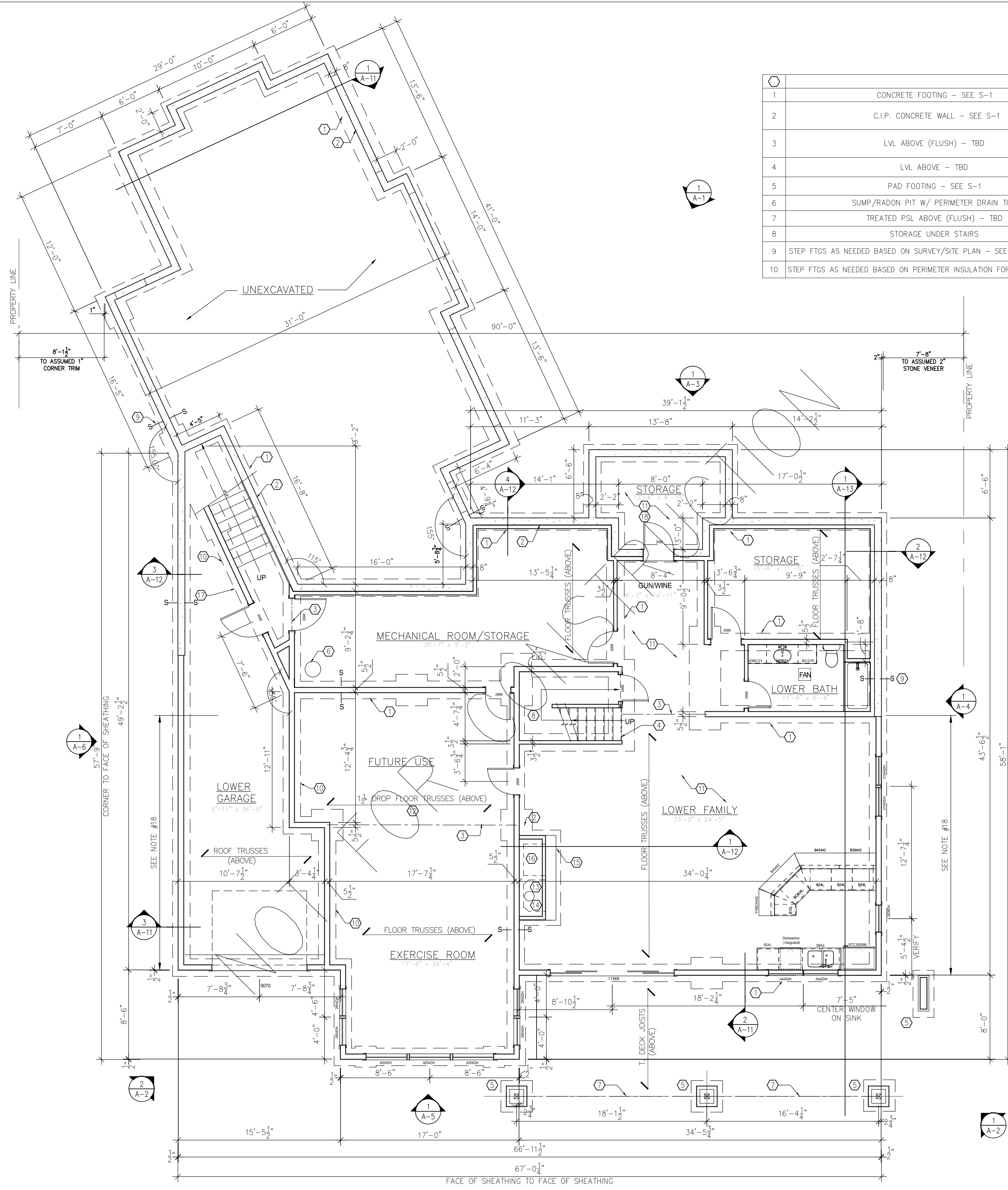
20. OWNER REQUESTED FLOOR DRAINS IN GARAGE. FINAL DESIGN WILL MEET LOCAL ORDINANCE & STATE CODE FOR SUCH SYSTEM AND BE SUBMITTED AND REVIEWED BY LOCAL AND/OR STATE OFFICIAL PRIOR TO INSTALLATION. ACTUAL DRAINAGE SYSTEM INSTALLATION TO BE INSPECTED AND PASSED.

21. CULTURED STONE TO BE SET 6" ABOVE GRADE OR RUN BELOW GRADE W/ RIGID INSULATION UPHEAVAL PROTECTION EXTENDING BELOW FROST LINE.

22. FIREPLACES AND CHASE DESIGN/SIZE IS SUBJECT TO CHANGE BASED ON TRUSS DESIGN, STRUCTURAL REQUIREMENTS, STATE AND LOCAL CODE. AND FIREPLACE/FLUE CLEARANCES AND SPECIFICATIONS.

### REVISION C CHANGES:

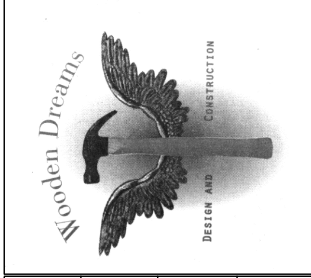
1. EXTERIOR ELEVATIONS – REMOVED TRANSOM WINDOWS.
2. ROTATED GARAGE 5'.
3. CLEANED UP DIMENSIONS.
4. CHANGED STAIRWAY TO OPEN RAILING.
5. CHANGED ALL DOOR S TO 6'-8" HIGH – VERIFY.
6. REMOVED CABINETRY AND BENCH IN ENTRY.
7. GENERAL CLEAN UP OF PLANS.



KEY NOTES			
1	CONCRETE FOOTING – SEE S-1	11	HYDRONIC IN-FLOOR HEATING WHERE NOTED
2	C.I.P. CONCRETE WALL – SEE S-1	12	TRUSS DESIGNER TO DROP TRUSSES IN MASTER BATH AREA 1 1/2" FOR GYPCRETE AND ALLOW FOR ADDED WEIGHT, SEE GENERAL NOTE #11 & KEY NOTE #19 & #23 MAIN LEVEL
3	LVL ABOVE (FLUSH) – TBD	13	WOOD BURNING FIREPLACE INSERT TBD BY OWNER, SEE GENERAL NOTE #22
4	LVL ABOVE – TBD	14	TIMBER MANTEL – TBD BY OWNER
5	PAD FOOTING – SEE S-1	15	THICKENED SLAB – SEE S-1
6	SUMP/RADON PIT W/ PERIMETER DRAIN TILE	16	WOOD STORAGE SPACE – VERIFY
7	TREATED PSL ABOVE (FLUSH) – TBD	17	FROST FTG W/ CURB
8	STORAGE UNDER STAIRS	18	SIKA WATERSTOPS OR EQ. AS NEEDED
9	STEP FTGS AS NEEDED BASED ON SURVEY/SITE PLAN – SEE GENERAL NOTE #18	-	
10	STEP FTGS AS NEEDED BASED ON PERIMETER INSULATION FOR FROST PROTECTION	-	

1 WALKOUT LEVEL/FOUNDATION  
3/16" = 1'-0"

DESIGN CONCEPT PLANS BY:  
**WOODEN DREAMS, INC.**  
1883 SIOUX BLVD.  
NEW BRIGHTON, MN 55112 651-636-7645

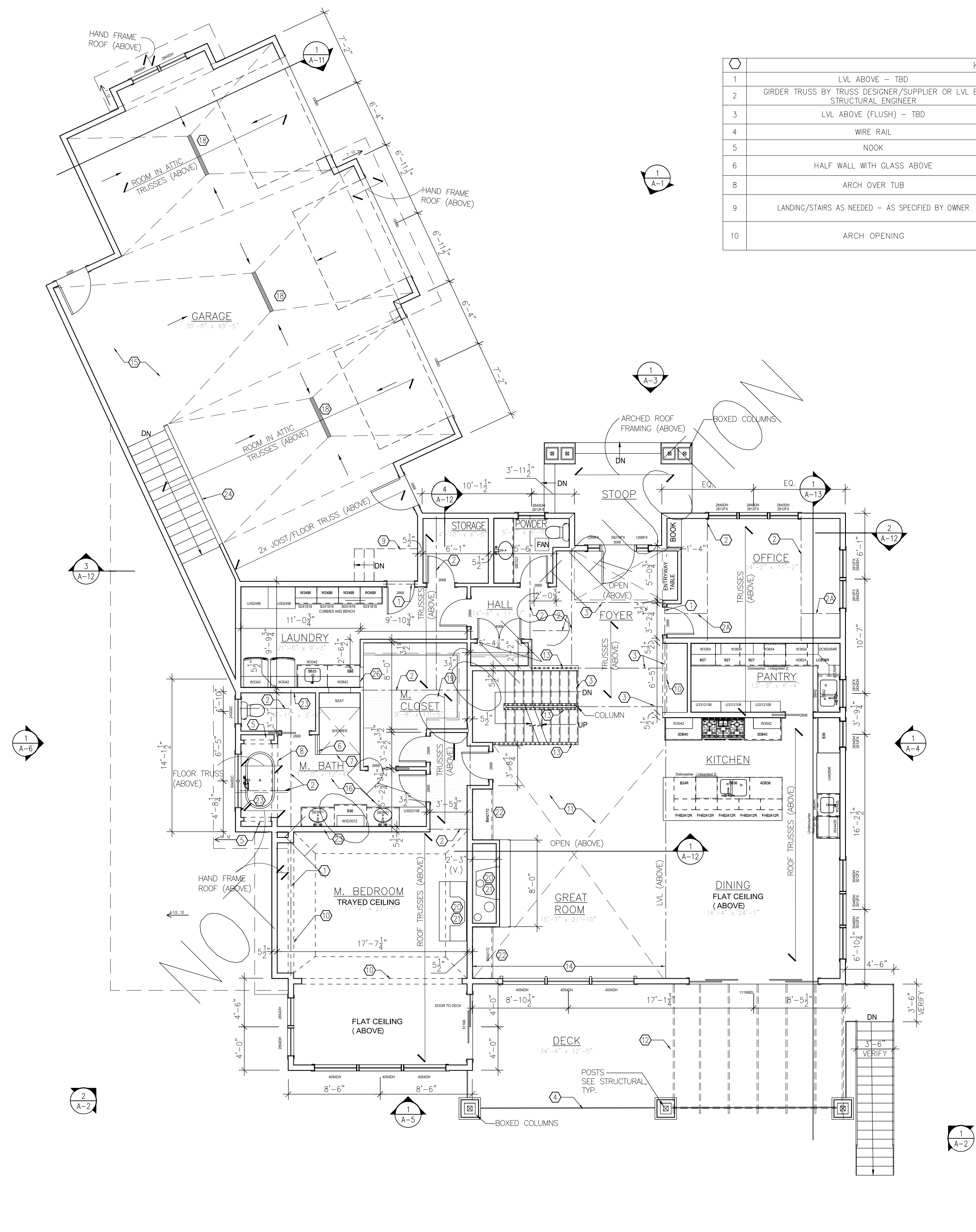
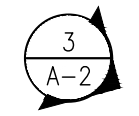


ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:  
**BARB & CHUCK MUELLER**  
RANDOM LAKE, WISCONSIN

A-7

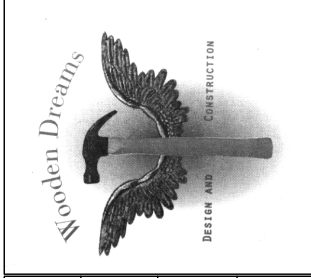
BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION



KEY NOTES			
1	LVL ABOVE - TBD	11	TIMBER - ABOVE SEE TIMBER DESIGN
2	GIRDER TRUSS BY TRUSS DESIGNER/SUPPLIER OR LVL BY STRUCTURAL ENGINEER	12	PERGOLA - ABOVE
3	LVL ABOVE (FLUSH) - TBD	13	OPEN RAILING - WROUGHT IRON - TBD
4	WIRE RAIL	14	WIND/TALL WALL BRACING O.C. - SEE STRUCTURAL
5	NOOK	15	HYDRONIC IN-FLOOR HEATING IN GARAGE
6	HALF WALL WITH GLASS ABOVE	16	HYDRONIC IN-FLOOR HEATING W/ GYPCRETE, SEE GENERAL NOTE #11
8	ARCH OVER TUB	18	FLOOR DRAIN-TO OIL SEPARATOR & HOLDING TANK - SEE GENERAL NOTE #20
9	LANDING/STAIRS AS NEEDED - AS SPECIFIED BY OWNER	19	MASTER CLOSET AREA TO HAVE ADDITIONAL 2x PLATE FIELD APPLIED TO TRUSS TOP CHORDS PRIOR TO SUBFLOOR
10	ARCH OPENING	20	GAS FIREPLACE INSERT TBD BY OWNER, DEPTH OF CHASE TBD IN ACCORDANCE W/ INSERT REQUIREMENTS, SEE GENERAL NOTE #22
		21	TIMBER MANTEL- TBD BY OWNER
		22	SOFFIT
		23	ADDITIONAL BOT. PLAT AS REQU'D - COORD. W/ TRUSS SUPPLIER FOR RECESSED AREA
		24	CAPPED HALF-HIGH WALL

1 MAIN LEVEL  
 A-8 3/16" = 1'-0"

DESIGN CONCEPT PLANS BY:  
**WOODEN DREAMS, INC.**  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION	DATE
A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

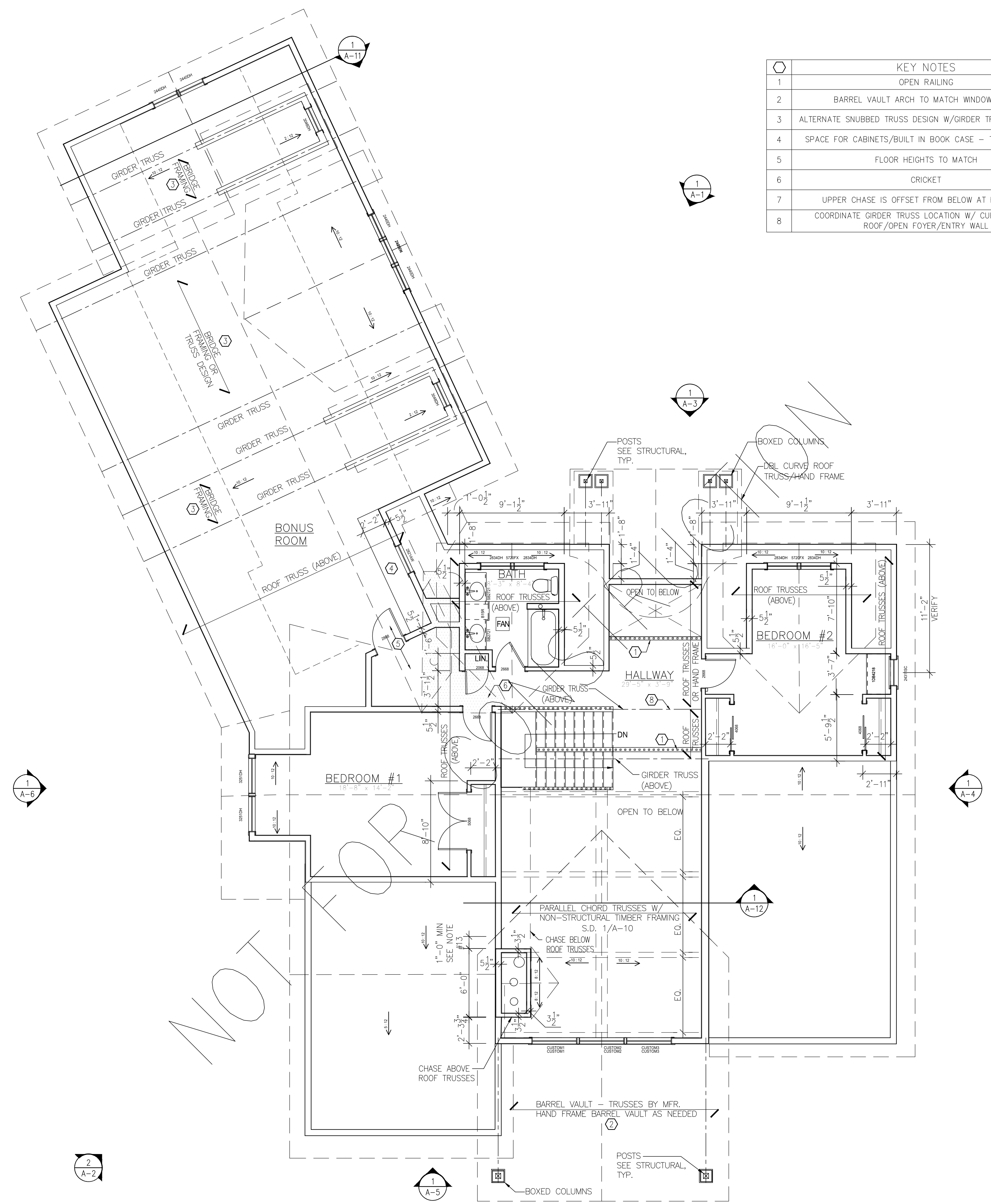
NEW HOME:  
**BARB & CHUCK MUELLER**  
 RANDOM LAKE, WISCONSIN

A-8



BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION

3  
A-2

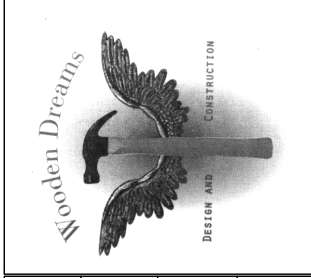


KEY NOTES	
1	OPEN RAILING
2	BARREL VAULT ARCH TO MATCH WINDOW RADIUS
3	ALTERNATE SNUBBED TRUSS DESIGN W/GIRDER TRUSS @ DORMER
4	SPACE FOR CABINETS/BUILT IN BOOK CASE - TBD BY OWNER
5	FLOOR HEIGHTS TO MATCH
6	CRICKET
7	UPPER CHASE IS OFFSET FROM BELOW AT ROOF LINE
8	COORDINATE GIRDER TRUSS LOCATION W/ CURVED ENTRY ROOF/OPEN FOYER/ENTRY WALL

NOT FOR

1 UPPER LEVEL  
 A-9 3/16" = 1'-0"

DESIGN CONCEPT PLANS BY:  
 WOODEN DREAMS, INC.  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION	
A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:  
 BARB & CHUCK MUELLER  
 RANDOM LAKE, WISCONSIN

A-9



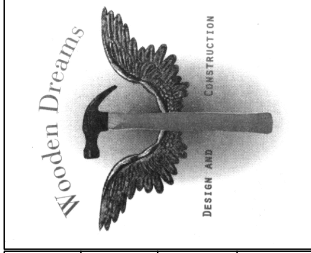
BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION



1 TIMBER FRAMING REFERENCE  
 A-10 NO SCALE

NEW HOME:  
 BARB & CHUCK MUELLER  
 RANDOM LAKE, WISCONSIN

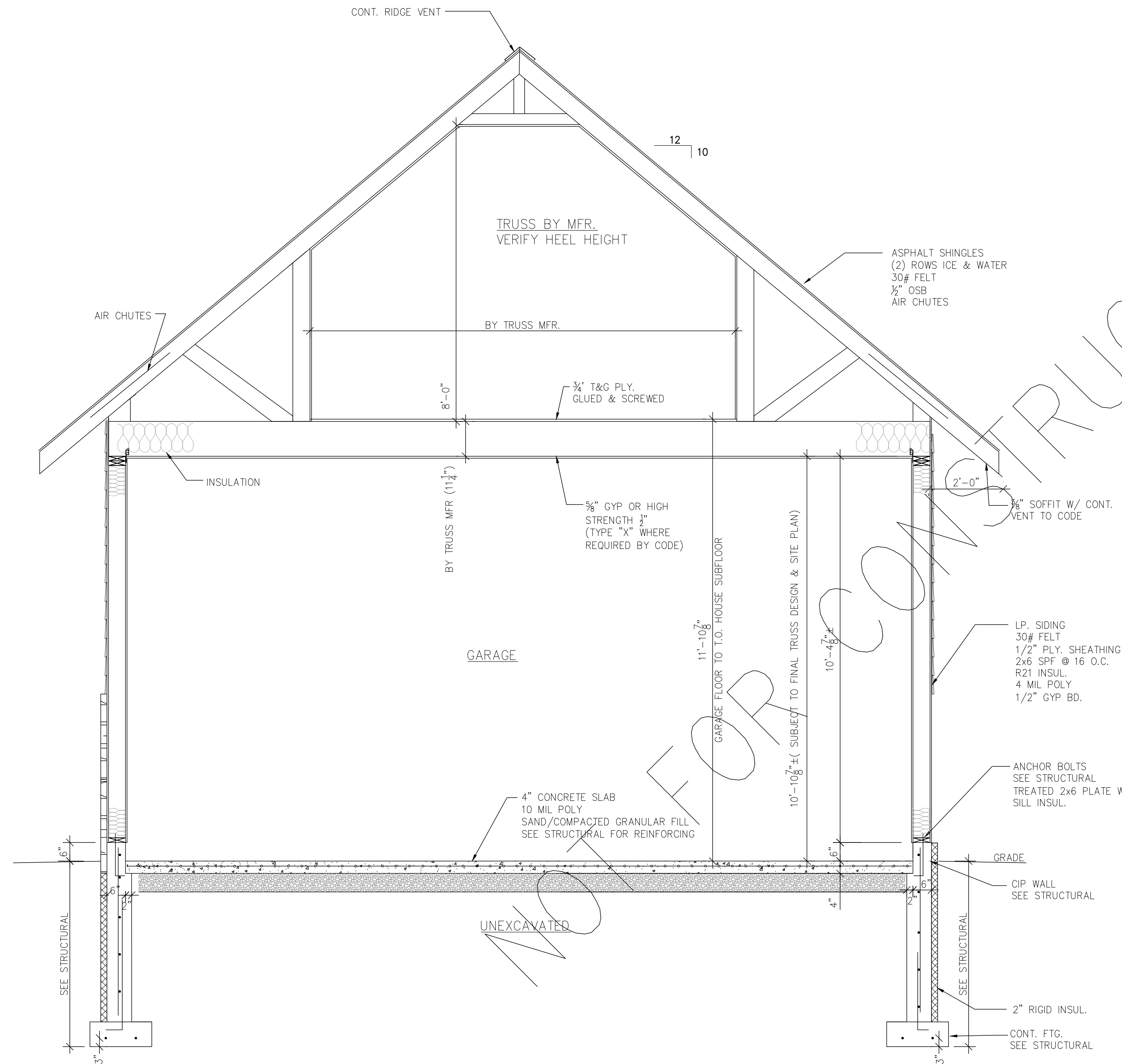
ISSUE/REVISION	1/16/23	BID SET
A		
B	9/8/23	BID SET
C	2/9/24	BID SET



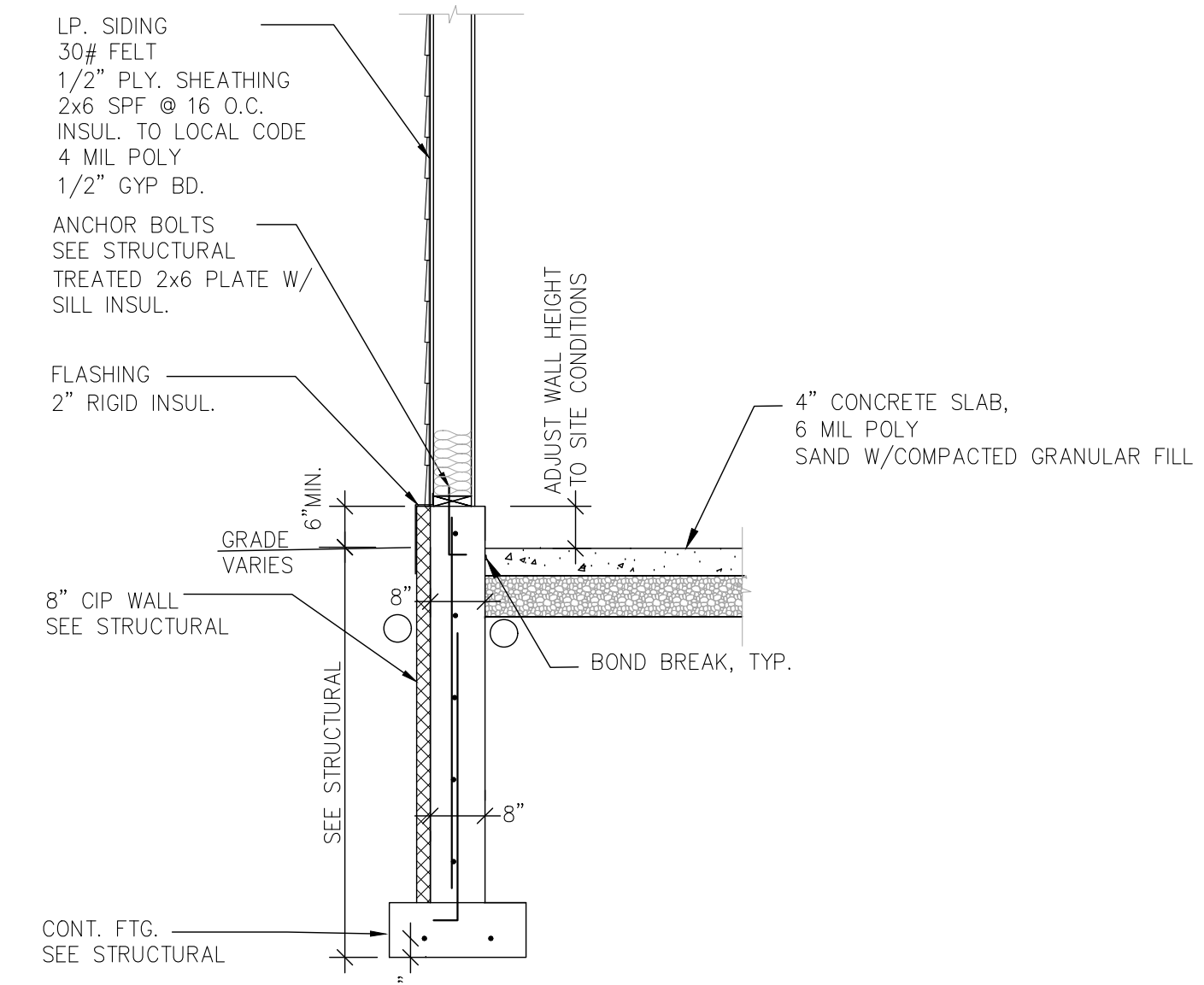
DESIGN CONCEPT PLANS BY:  
 WOODEN DREAMS, INC.  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645



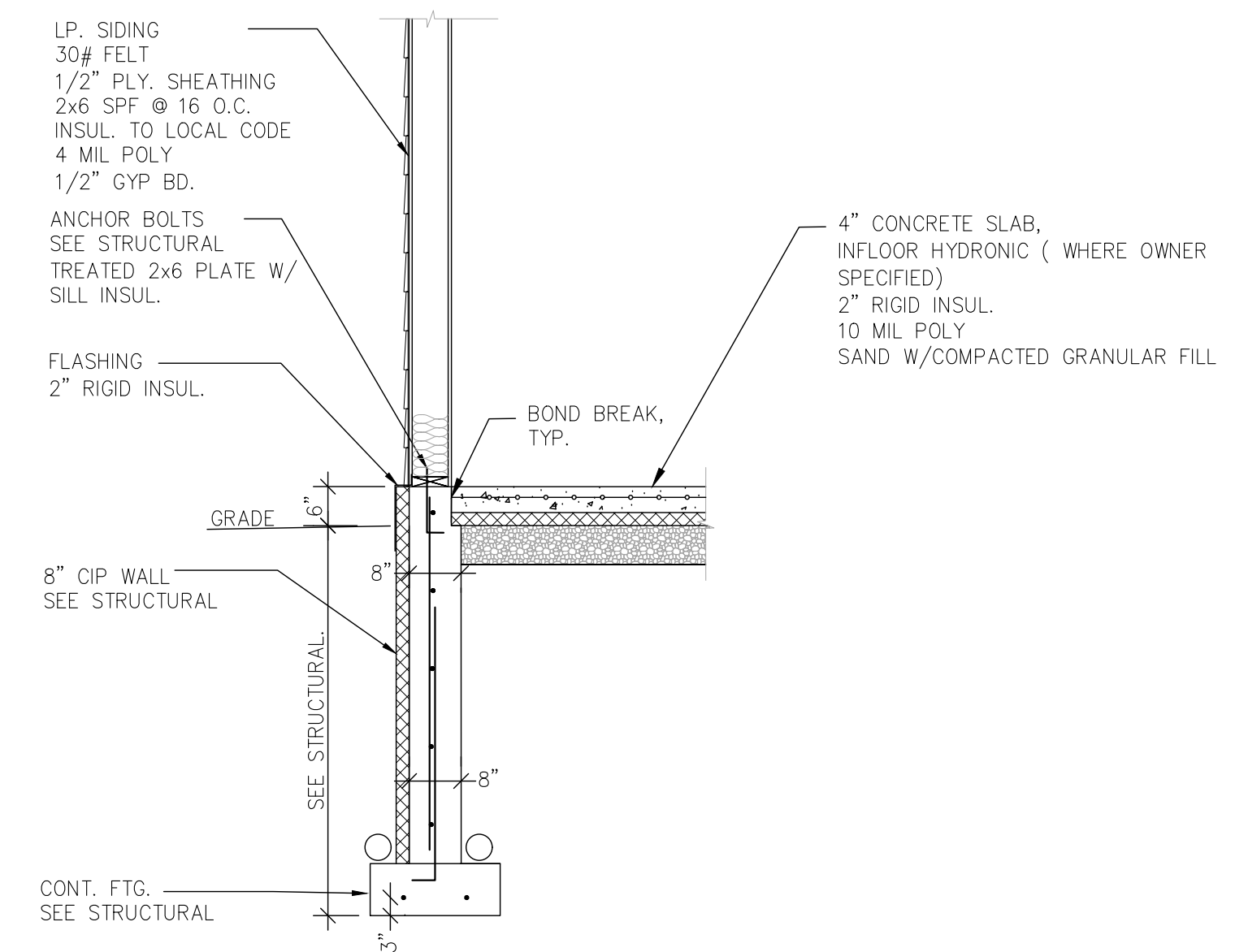
BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION



1 SECTION  
 A-11 1/2"=1'-0"

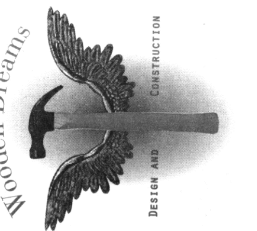


3 SECTION  
 A-11 1/2"=1'-0"



2 SECTION  
 A-11 1/2"=1'-0"

DESIGN CONCEPT PLANS BY:  
**WOODEN DREAMS, INC.**  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645

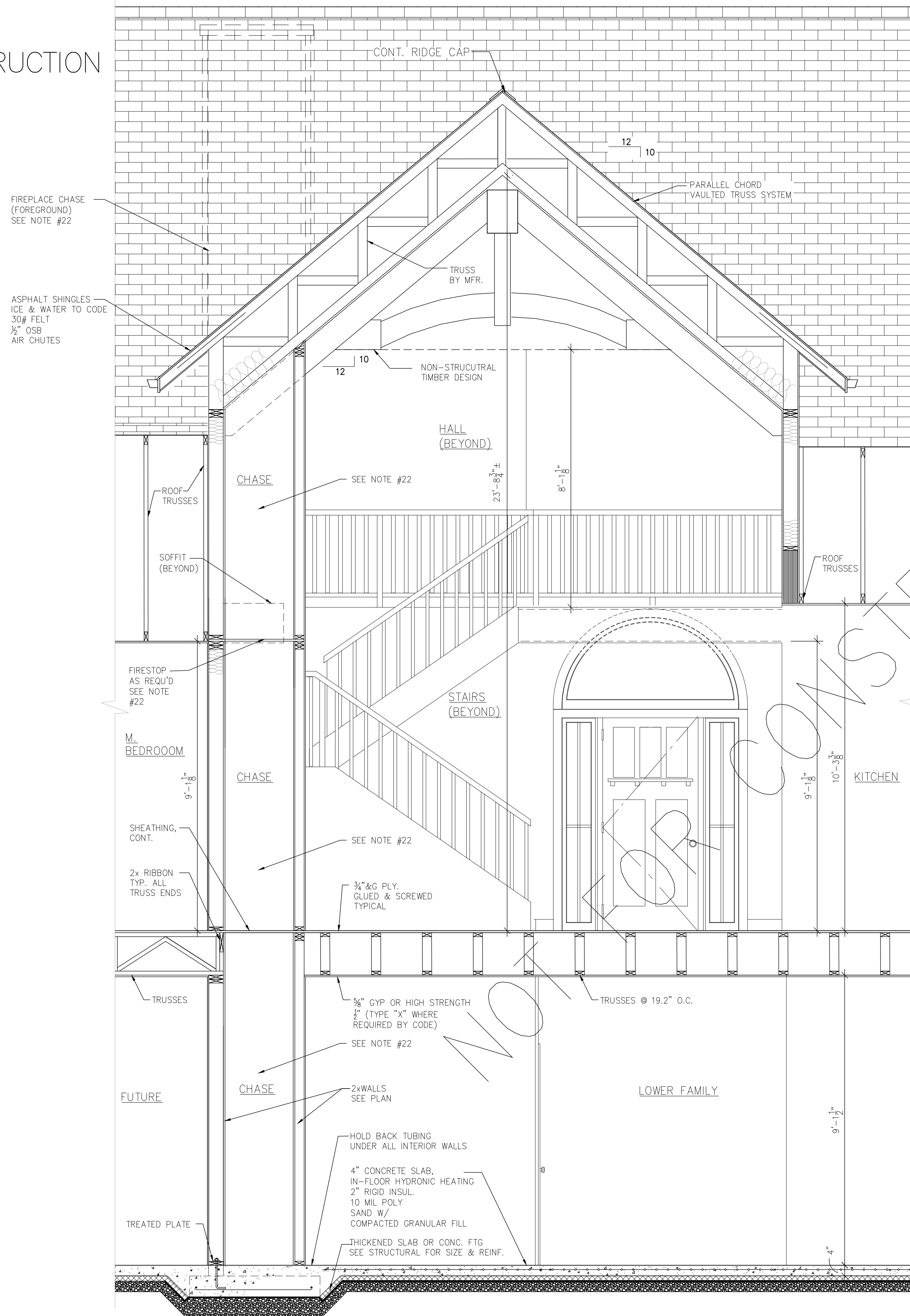


ISSUE/REVISION	1/16/23 BID SET	9/8/23 BID SET	2/9/24 BID SET
A			
B			
C			

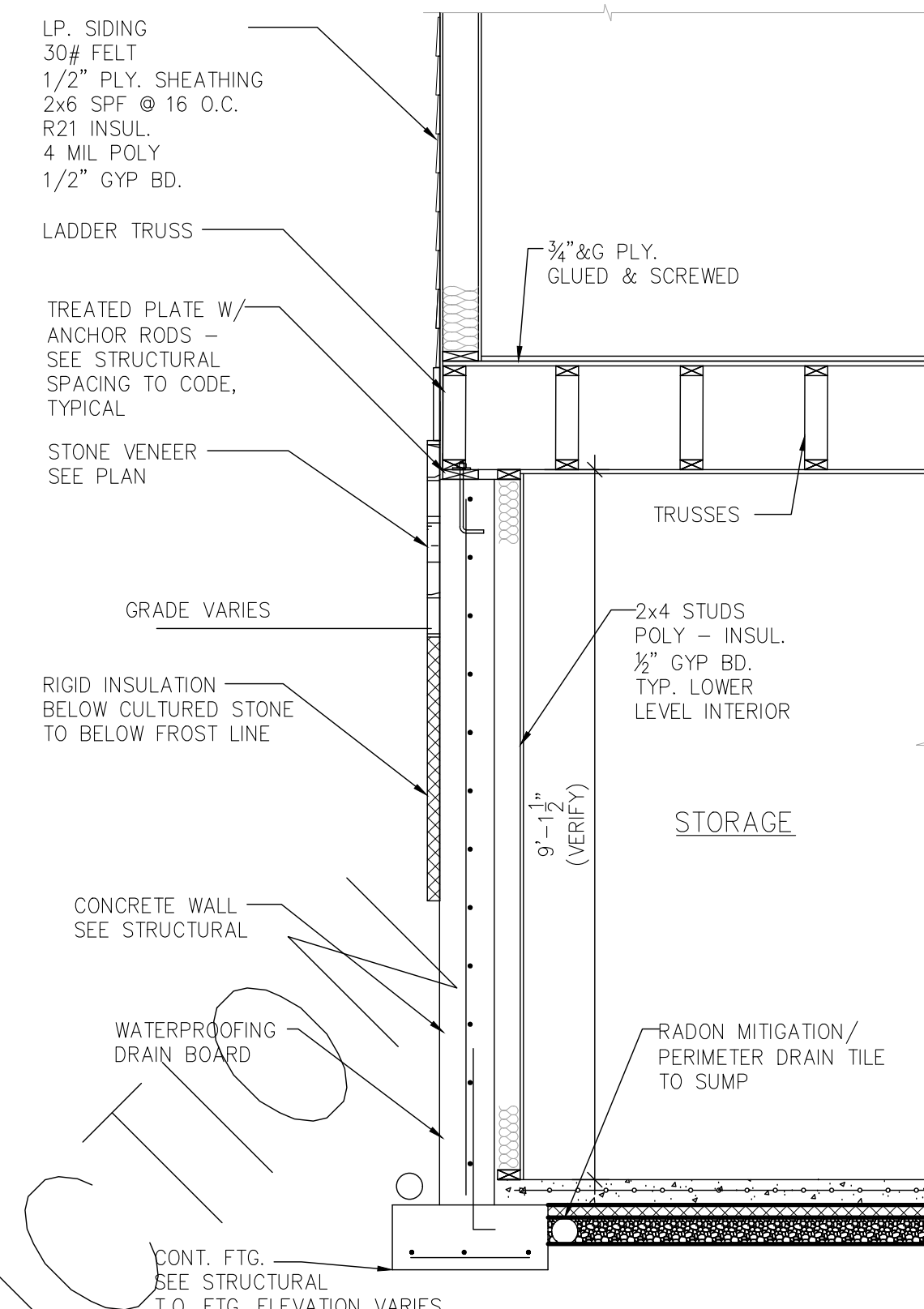
NEW HOME:  
**BARB & CHUCK MUELLER**  
 RANDOM LAKE, WISCONSIN

A-11

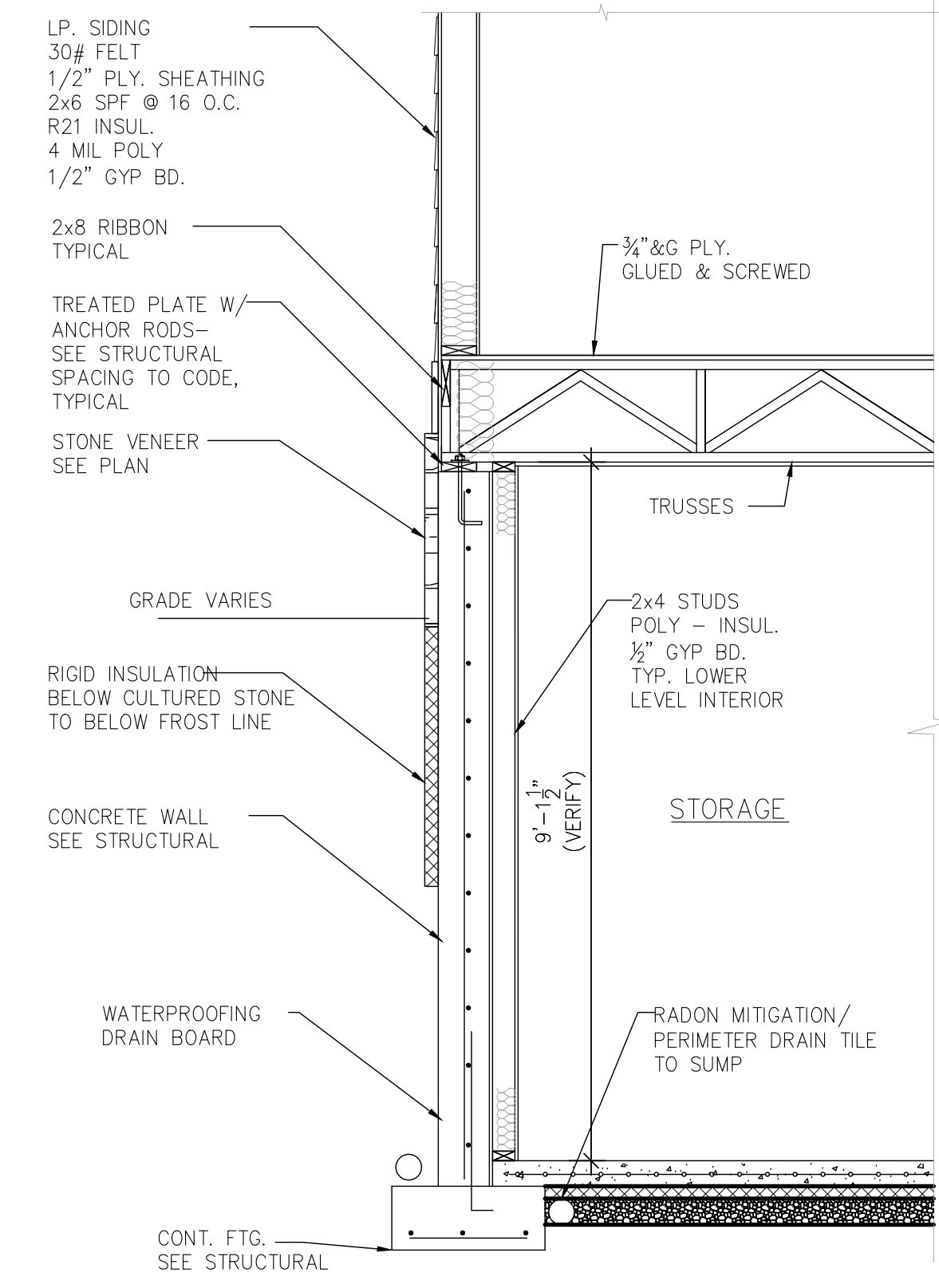
BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION



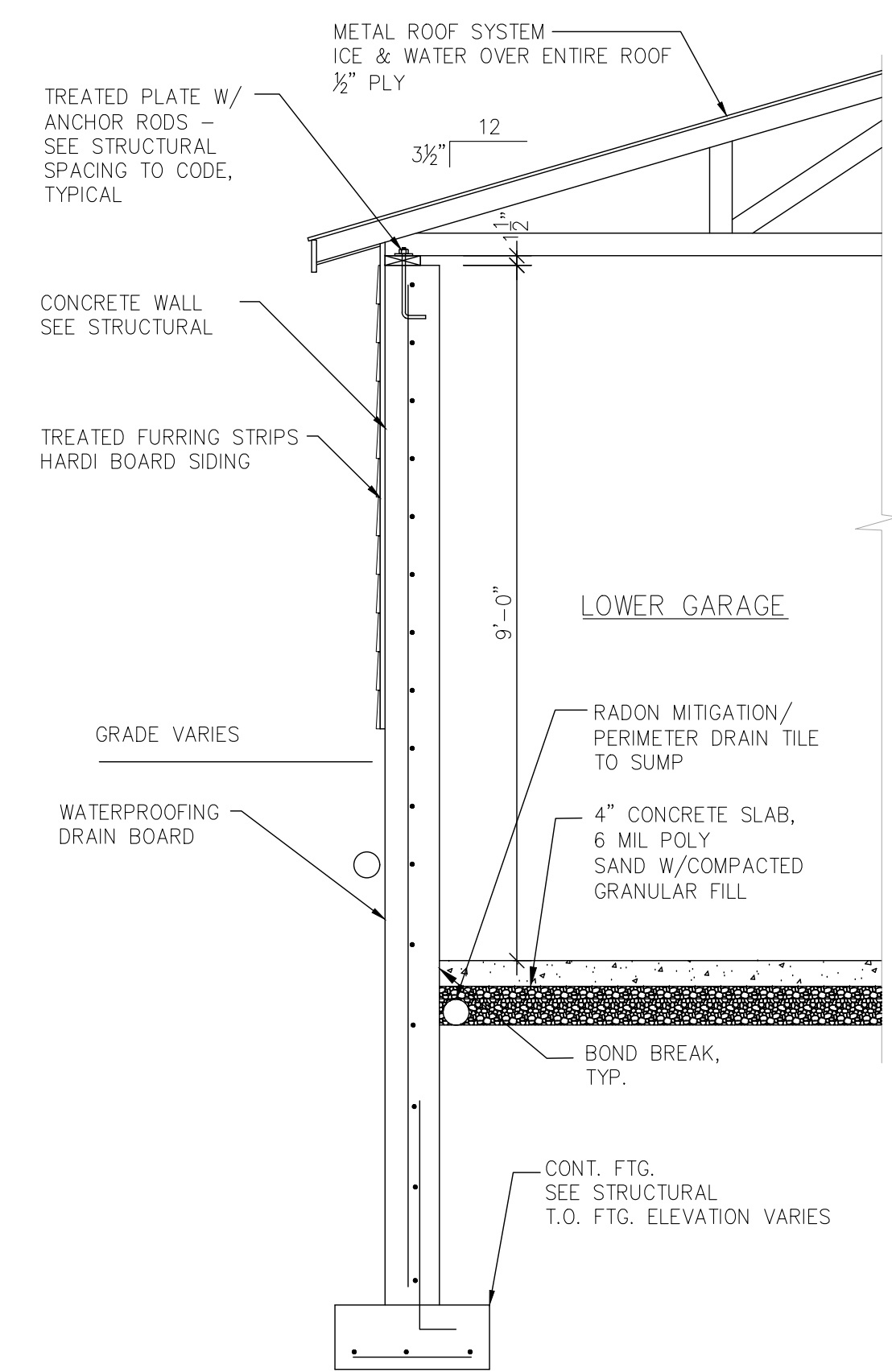
1 SECTION  
 A-12 1/2"=1'-0"



2 SECTION  
 A-12 1/2"=1'-0"

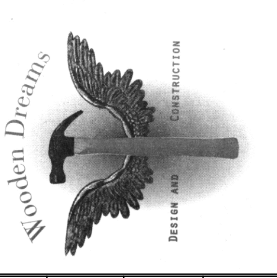


4 SECTION  
 A-12 1/2"=1'-0"



3 SECTION  
 A-12 1/2"=1'-0"

DESIGN CONCEPT PLANS BY:  
 WOODEN DREAMS, INC.  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645

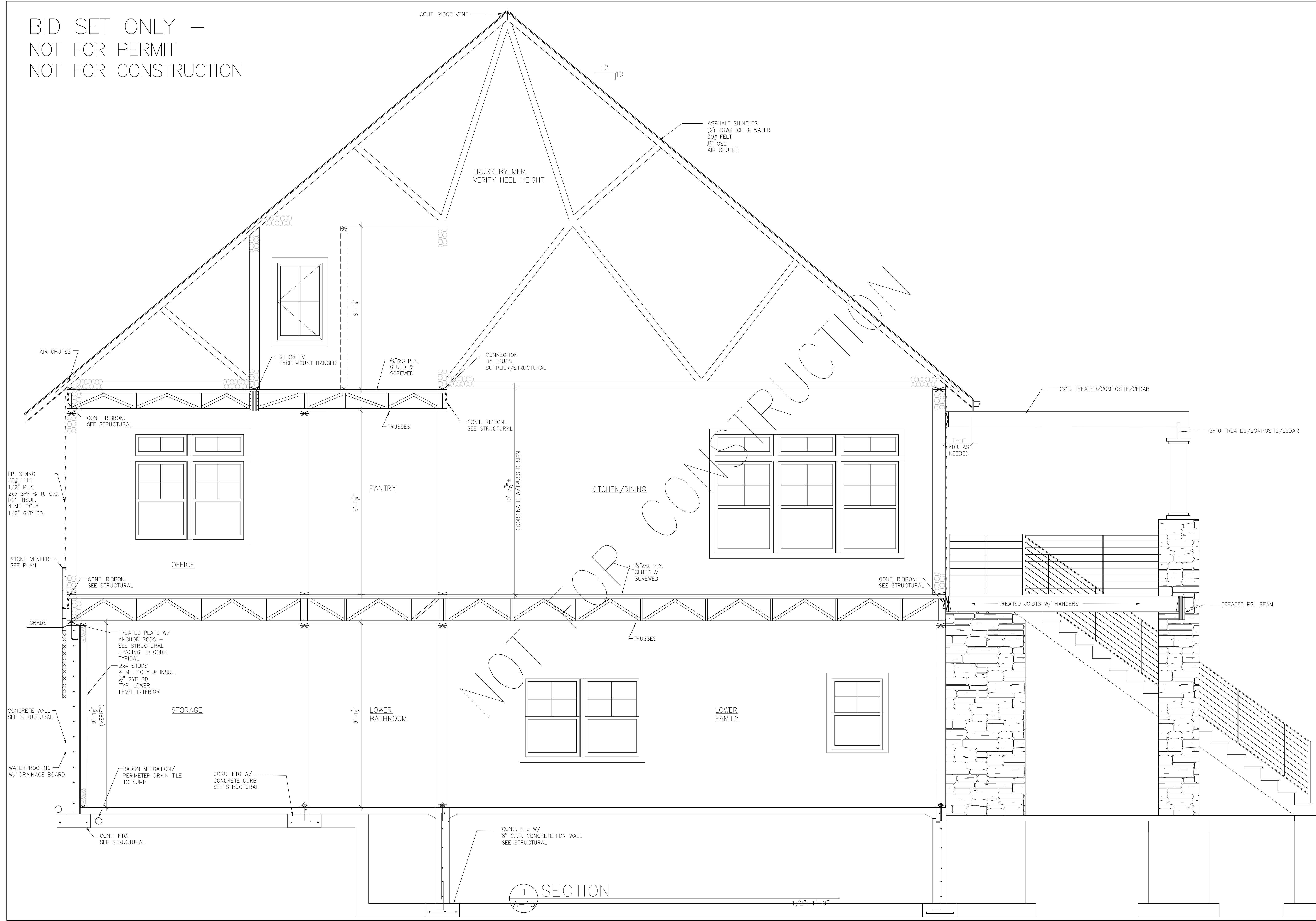


ISSUE/REVISION	1/16/23 BID SET	9/8/23 BID SET	2/9/24 BID SET
A			
B			
C			

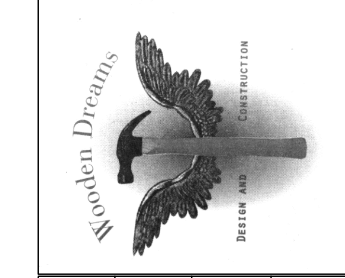
NEW HOME:  
 BARB & CHUCK MUELLER  
 RANDOM LAKE, WISCONSIN

A-12

BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION



DESIGN CONCEPT PLANS BY:  
 WOODEN DREAMS, INC.  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION	1/16/23 BID SET	9/8/23 BID SET	2/9/24 BID SET
A			
B			
C			

NEW HOME:  
 BARB & CHUCK MUELLER  
 RANDOM LAKE, WISCONSIN

A-13



BID SET ONLY —  
 NOT FOR PERMIT  
 NOT FOR CONSTRUCTION

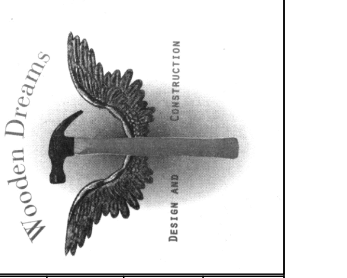
CABINET SCHEDULE									
LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	CODE	MANUFACTURER	COMMENTS
IDB4R18	1	2	48"	24"	18"	BASE CABINET			
IDR40	2	1	40"	24"	36"	BASE CABINET			
4DR2121	1	0	21"	21"	36"	BASE CABINET			
4DR24	1	1	24"	24"	36"	BASE CABINET			
4DR36	1	1	36"	24"	36"	BASE CABINET			
B12R	1	0	12"	24"	36"	BASE CABINET			
B132018	3	1	13"	19 3/4"	18"	BASE CABINET			
B15R	1	2	15"	24"	36"	BASE CABINET			
B2121R	1	0	21"	21"	36"	BASE CABINET			
B241R1R	4	1	24"	18"	18"	BASE CABINET			
B24R	3	0	24"	24"	36"	BASE CABINET			
B24R	3	1	23 7/8"	24"	36"	BASE CABINET			
B24R	1	1	24"	24"	36"	BASE CABINET			
B27	1	0	27"	24"	36"	BASE CABINET			
B27	3	1	27"	24"	36"	BASE CABINET			
B36	2	1	36"	24"	36"	BASE CABINET			
B39	2	1	39"	24"	36"	BASE CABINET			
B39442	1	0	39"	4"	42"	BASE CABINET			
B43442	1	0	42 9/16"	4"	42"	BASE CABINET			
B45442	1	0	45"	4"	42"	BASE CABINET			
B542172	1	1	54 1/4"	21"	72"	BASE CABINET			
B552172	1	1	55"	21"	72"	BASE CABINET			
BCB24R	1	0	24"	24"	36"	BASE CABINET			
BCW2454R	1	1	24"	24"	54"	CORNER WALL CABINET			
BHR2442R	1	0	23 3/16"	4"	42"	BASE CABINET			
BHR2412R	5	1	24"	12"	36"	BASE CABINET			
LCB36R	1	1	36"	36"	36"	CORNER BASE CABINET			
RIC392696	1	0	39"	25 1/2"	36"	UTILITY CABINET			
SR24R	1	1	23 13/16"	24"	36"	BASE CABINET			
SB3121	2	2	31"	21"	36"	BASE CABINET			
SB33	1	1	33"	24"	36"	BASE CABINET			
SB36	1	0	36"	24"	36"	BASE CABINET			
SB36	1	1	36"	24"	36"	BASE CABINET			
SB3621	1	0	36"	21"	36"	BASE CABINET			
SB3621	2	1	36"	21"	36"	BASE CABINET			
SR42	1	1	42"	24"	36"	BASE CABINET			
SR4221	1	1	42"	21"	36"	BASE CABINET			
U3022108	1	1	30"	22"	108"	UTILITY CABINET			
U302490	1	1	30"	24"	90"	UTILITY CABINET			
U302496	2	1	30"	24"	96"	UTILITY CABINET			
U311890	1	1	30 11/16"	18"	90"	UTILITY CABINET			
U3312108	3	1	33"	12"	108"	UTILITY CABINET			
U442696	1	1	44"	25 1/2"	96"	UTILITY CABINET			
W1254R	1	1	12"	12"	54"	WALL CABINET			
W2420	4	1	24"	12"	20"	WALL CABINET			
W2436R	2	0	24"	12"	36"	WALL CABINET			
W2442	1	1	24"	12"	42"	WALL CABINET			
W2442R	1	1	24"	12"	42"	WALL CABINET			
W245R	4	1	24"	12"	5R	WALL CABINET			
W3042	3	1	30"	12"	42"	WALL CABINET			
W3342	2	1	33"	12"	42"	WALL CABINET			
W3354	1	1	33"	12"	54"	WALL CABINET			
W3642	1	1	36"	12"	42"	WALL CABINET			
W3654	3	1	36"	12"	54"	WALL CABINET			
W3D3072	1	1	30"	12"	72"	WALL CABINET			

FIXTURE SCHEDULE									
LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	CODE	MANUFACTURER	COMMENTS
RJUIT-IN REFRIGERATOR	1	0	42"	23 3/4"	79 3/8"				
DISHWASHER (INTEGRATED 2)	2	1	23 11/16"	23"	30 1/2"				
DISHWASHER (INTEGRATED)	1	0	23 5/16"	23"	30 1/2"				
DRYER (CURVED)	1	1	27"	33 3/16"	38"				
FLAT HOOD	1	1	48"	19 11/16"	29 9/16"				
GAS 1 1/2 RANGE	1	1	48"	24 3/4"	39 1/2"				
OFFSET 32" (UNDERMOUNT) [29 1/8W]	1	0	29 1/8"	19 3/16"	23 1/2"				
OFFSET 32" (UNDERMOUNT) [29 1/8W]	2	1	29 1/8"	19 3/16"	23 1/2"				
OVAL	1	1	62 15/16"	34 13/16"	42 1/4"				
OVAL (UNDERMOUNT) [20W]	1	0	20"	20 1/2"	27 3/16"				
OVAL (UNDERMOUNT) [20W]	3	1	20"	20 1/2"	12 5/16"				
OVAL (UNDERMOUNT) [20W]	2	2	20"	20 1/2"	12 5/16"				
SQUARE (UNDERMOUNT) [17W]	2	1	17"	17"	18 5/16"				
STANDARD (RIGHT) [60W]	1	2	60"	32"					
STANDARD TOILET	1	0	30"	36"	28 5/16"				
STANDARD TOILET	2	1	30"	36"	28 9/16"				
STANDARD TOILET	1	2	30"	36"	28 9/16"				
TUB-SHOWER (SIDE SHELF)	1	0	60"	32"	76"				
UNDERCOUNTER REFRIGERATOR [24]	1	1	24"	22"	30"				
WASHER (CURVED FRONT LOADING)	1	1	27"	33 3/16"	38"				

FINISH SCHEDULE									
LABEL	FLOOR	DESCRIPTION	CODE	MANUFACTURER	COMMENTS				
LOWER FAMILY	1	CARPET							
LOWER BATH	1	CERAMIC TILE							
LOWER BAR/POL TABLE	1	CERAMIC TILE							
LOWER GARAGE, STORAGE AREAS, FUTURE, EXERCISE ROOM	1	CONCRETE - SMOOTH FINISH							
STAIRS	1	CARPET							
GARAGE	1	CONCRETE - SMOOTH FINISH							
OFFICE	1	CARPET							
MASTER BEDROOM	1	CARPET							
MASTER CLOSET	1	CARPET							
MASTER BATH	1	CERAMIC TILE							
FOYER	1	VT							
HALLWAY	1	VT							
GREAT ROOM	1	VT							
KITCHEN	1	VT							
PANTRY	1	VT							
LAUNDRY/MUDROOM	1	VT							
BOWFIE	1	VT							
STAIRS	1	CARPET							
HALLWAY	2	CARPET							
BEDROOM #1	2	CARPET							
BEDROOM #2	2	CARPET							
UPPER BATHROOM	2	VT							
BONUS ROOM	2	CARPET							

NOT FOR CONSTRUCTION

DESIGN CONCEPT PLANS BY:  
 WOODEN DREAMS, INC.  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645

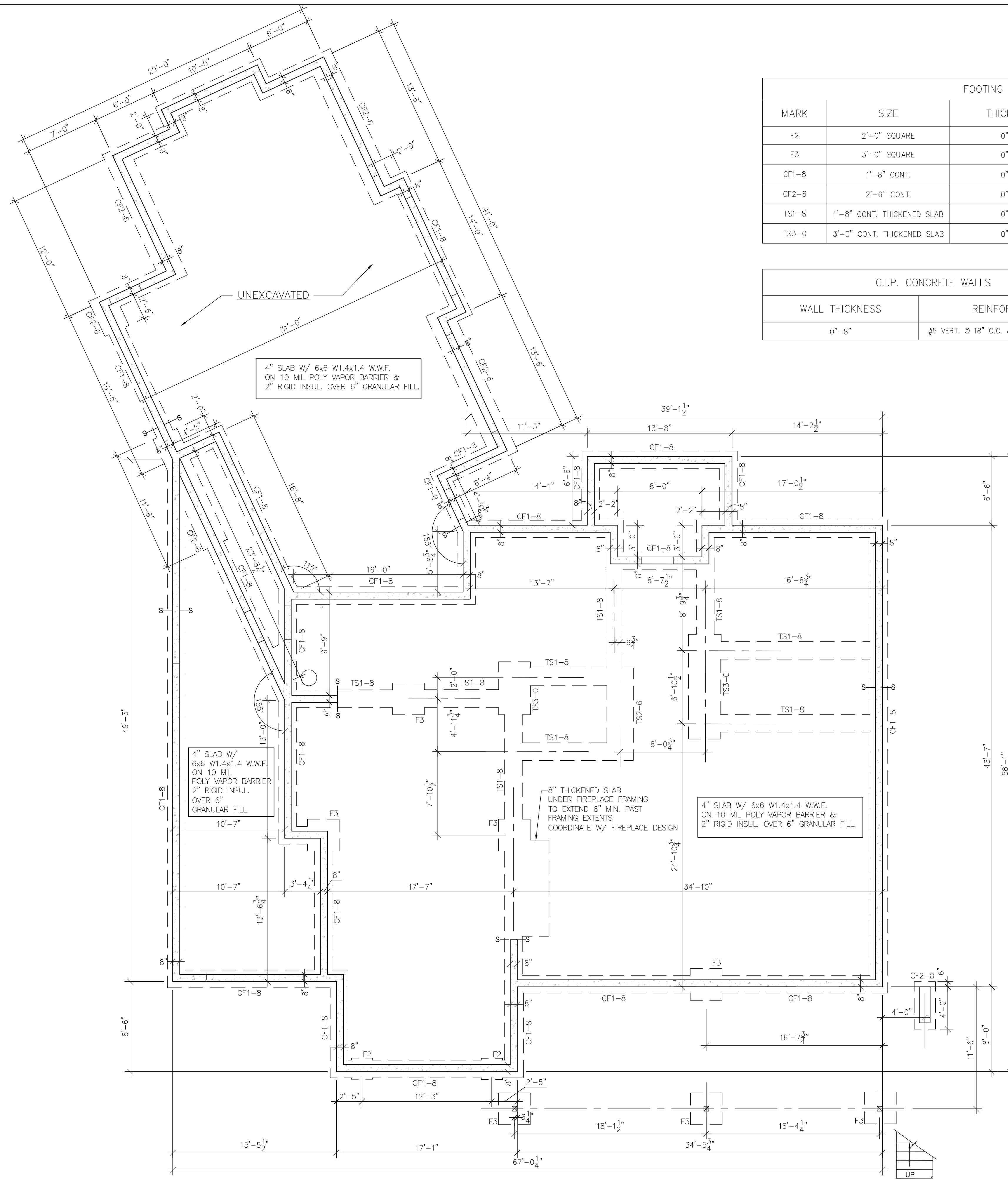


ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:  
 BARB & CHUCK MUELLER  
 RANDOM LAKE, WISCONSIN

**GENERAL NOTES:**

1. ALL EXTERIOR WALL FOOTINGS ADJACENT TO HEATED STRUCTURES SHALL HAVE A MINIMUM SOIL COVER OF 4'-0" AND FOOTINGS AT UNHEATED STRUCTURES SHALL HAVE A MINIMUM SOIL COVER OF 5'-0". SOIL COVER IS MEASURED FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
2. IN LIEU OF SOIL BORINGS, FOOTING HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 1500 PSF. IT WILL BE THE RESPONSIBILITY OF OTHERS TO VERIFY THIS BEARING CAPACITY, TO ENSURE THAT DAMAGING DIFFERENTIAL SETTLEMENT WILL NOT OCCUR.



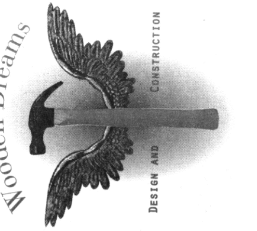
FOOTING SCHEDULE			
MARK	SIZE	THICKNESS	REINFORCEMENT
F2	2'-0" SQUARE	0'-8"	(2) #5 BARS EA WAY TYP., BOT.
F3	3'-0" SQUARE	0'-8"	(3) #5 BARS EA WAY TYP., BOT.
CF1-8	1'-8" CONT.	0'-8"	(2) #5 BARS
CF2-6	2'-6" CONT.	0'-8"	(3) #5 BARS
TS1-8	1'-8" CONT. THICKENED SLAB	0'-8"	(2) #5 BARS
TS3-0	3'-0" CONT. THICKENED SLAB	0'-8"	(3) #5 BARS & #5 TRANSVERSE BARS @ 18" O.C.

C.I.P. CONCRETE WALLS	
WALL THICKNESS	REINFORCEMENT
0'-8"	#5 VERT. @ 18" O.C. & #5 HORIZ. @ 18" O.C.

1 FOUNDATION PLAN

3/16" = 1'-0"

DESIGN CONCEPT PLANS BY:  
**WOODEN DREAMS, INC.**  
 1883 SIOUX BLVD.  
 NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:  
**BARB & CHUCK MUELLER**  
 RANDOM LAKE, WISCONSIN

S-1

4 PLY 1.75x5.5 LVL  
W/ (2) SIMPSON A23  
CLIPS @ EA END

(2) 2X6 FULL  
HGT STUDS @ 16" O.C.  
EA SIDE, TYP. @ TALL WALL

3PLY 1.75x5.5 LVL  
ORIENTED FLAT  
W/ (2) SIMPSON A33  
CLIPS @ EA END

4 PLY 1.75x5.5 LVL  
W/ (2) SIMPSON A23  
CLIPS @ EA END

3PLY 1.75x5.5 LVL  
ORIENTED FLAT  
W/ (2) SIMPSON A33  
CLIPS @ EA END

3PLY 1.75x5.5 LVL  
ORIENTED FLAT  
W/ (2) SIMPSON A33  
CLIPS @ EA END

3PLY 1.75x5.5 LVL  
ORIENTED FLAT  
W/ (2) SIMPSON A33  
CLIPS @ EA END

2x BLOCKING

A  
A

DETAIL

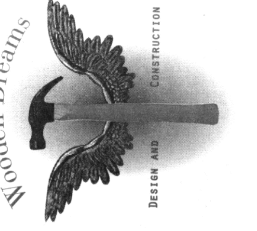
1/2" = 1'-0"

1  
S-2

TALL WALL FRAMING/BRACING

1/2" = 1'-0"

DESIGN CONCEPT PLANS BY:  
WOODEN DREAMS, INC.  
1883 SIOUX BLVD.  
NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION

ISSUE/REVISION	DATE	BY
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

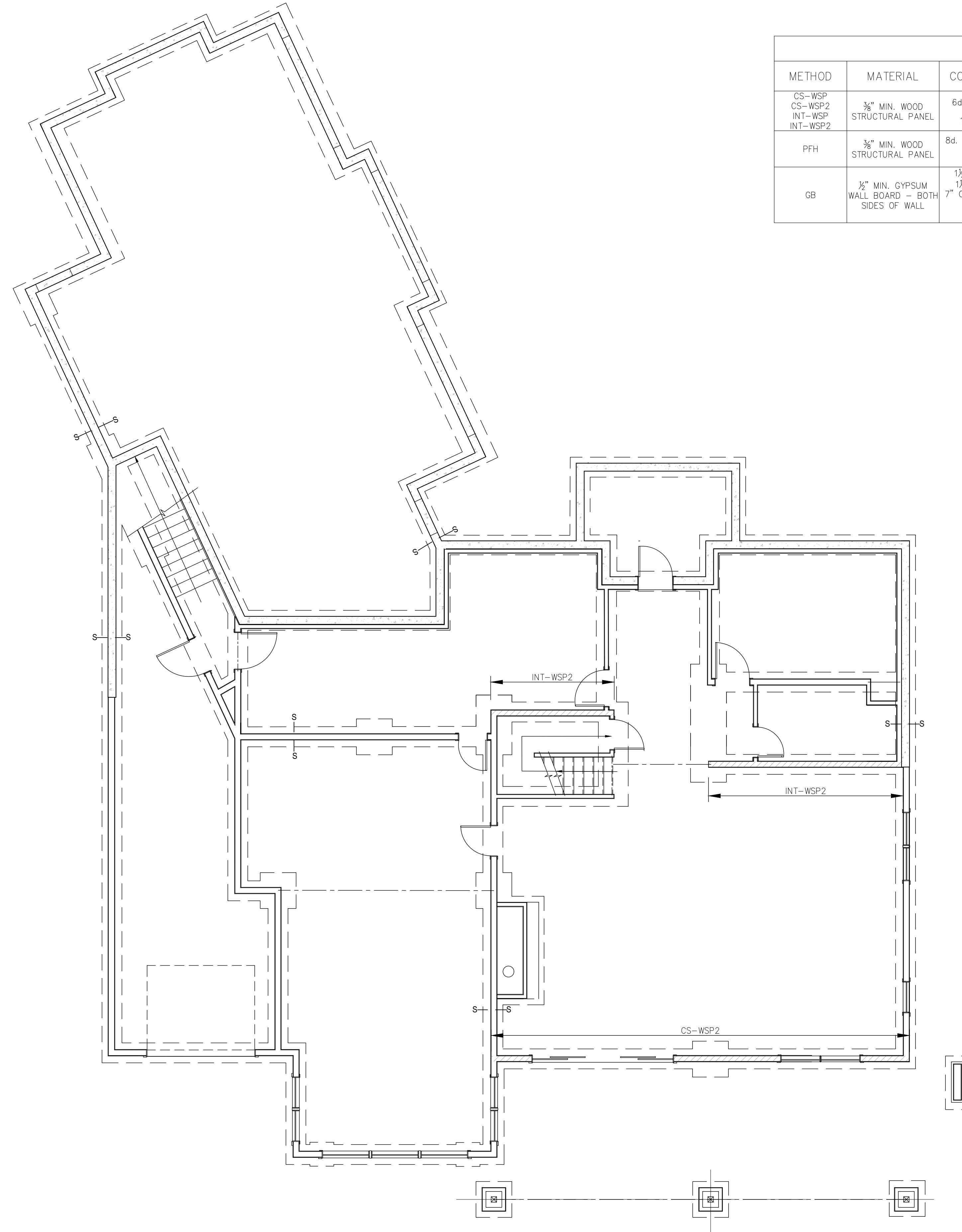
NEW HOME:  
BARB & CHUCK MUELLER  
RANDOM LAKE, WISCONSIN

S-2



**WALL BRACING NOTES:**

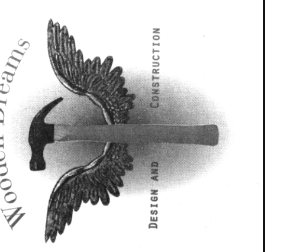
1. CONTINUOUS SHEATHING (CS-WSP) METHODS REQUIRE STRUCTURAL PANEL SHEATHING TO BE USED ON ALL SHEATHABLE SURFACES ON ONE SIDE OF A BRACED WALL LINE INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS AND SHALL MEET THE REQUIREMENTS OF SECTION R602.10.7.
2. INTERMITTENT WOOD STRUCTURAL PANEL SHEATHING (INT-WSP) SEE SECTION R604.
3. THE PFH BRACED WALL SHALL BE A PORTAL FRAME WITH HOLD DOWNS, WITH A HEADER AND FASTENING PATTERN SHOWN IN THE PFH FIGURE R602.10.2. SEE DETAIL 1/S6.



BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY		R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/S6	1/2" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	METHOD PFH FIGURE R602.10.6.2, SEE 1/S6
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

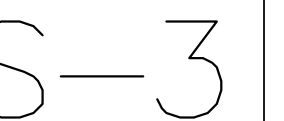
1 LOWER LEVEL BRACING PLAN  
S-3 3/16" = 1'-0"

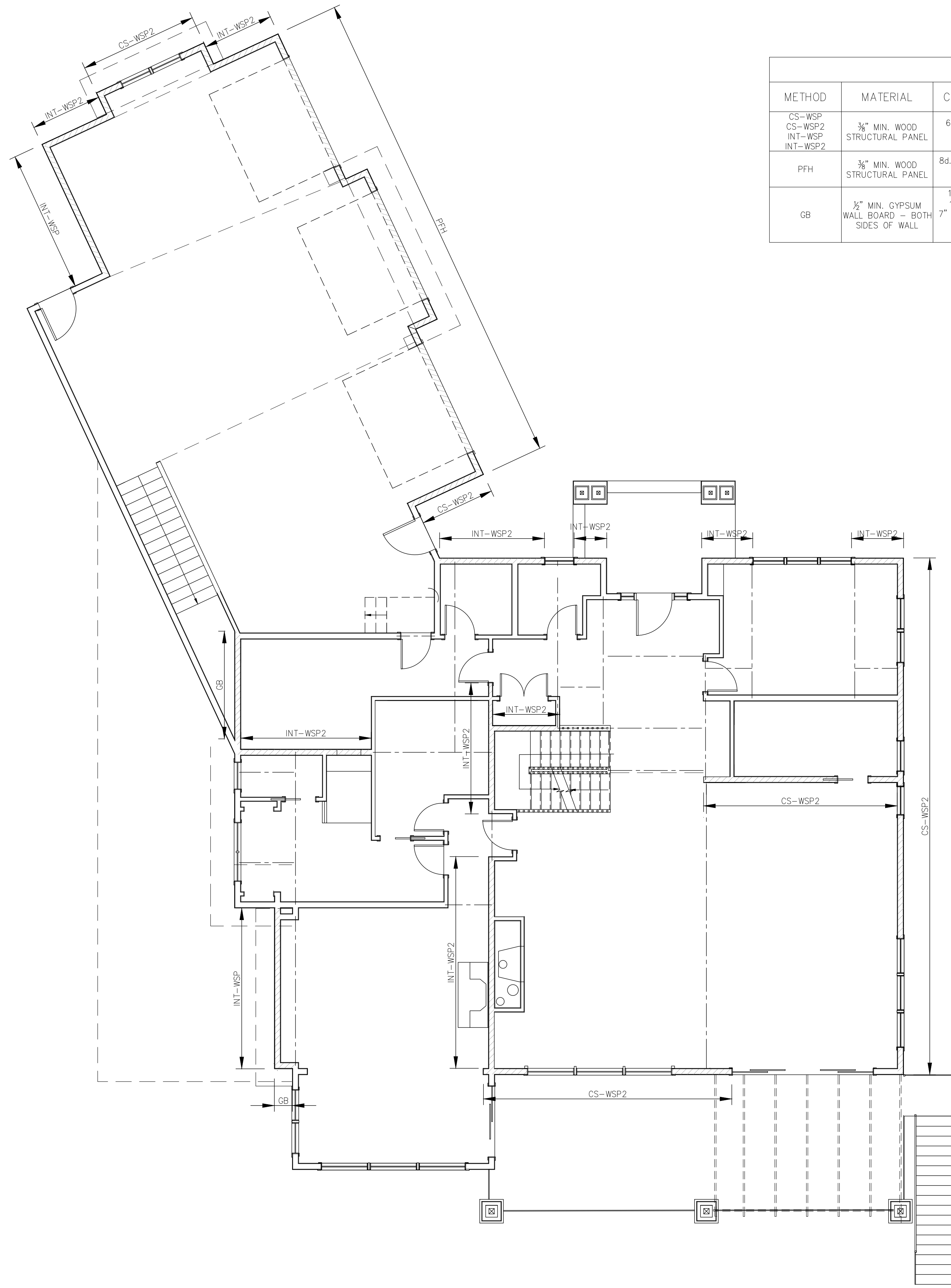
DESIGN CONCEPT PLANS BY:  
WOODEN DREAMS, INC.  
1883 SIOUX BLVD.  
NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:  
BARB & CHUCK MUELLER  
RANDOM LAKE, WISCONSIN





BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY		R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/56	1/2" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	METHOD PFH FIGURE R602.10.6.2, SEE 1/56
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

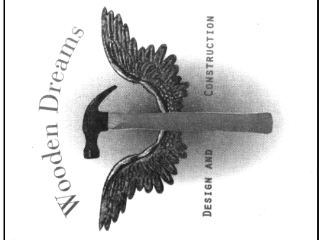
1  
S-4 MAIN LEVEL BRACING PLAN  
3/16" = 1'-0"

NEW HOME:  
BARB & CHUCK MUELLER  
RANDOM LAKE, WISCONSIN

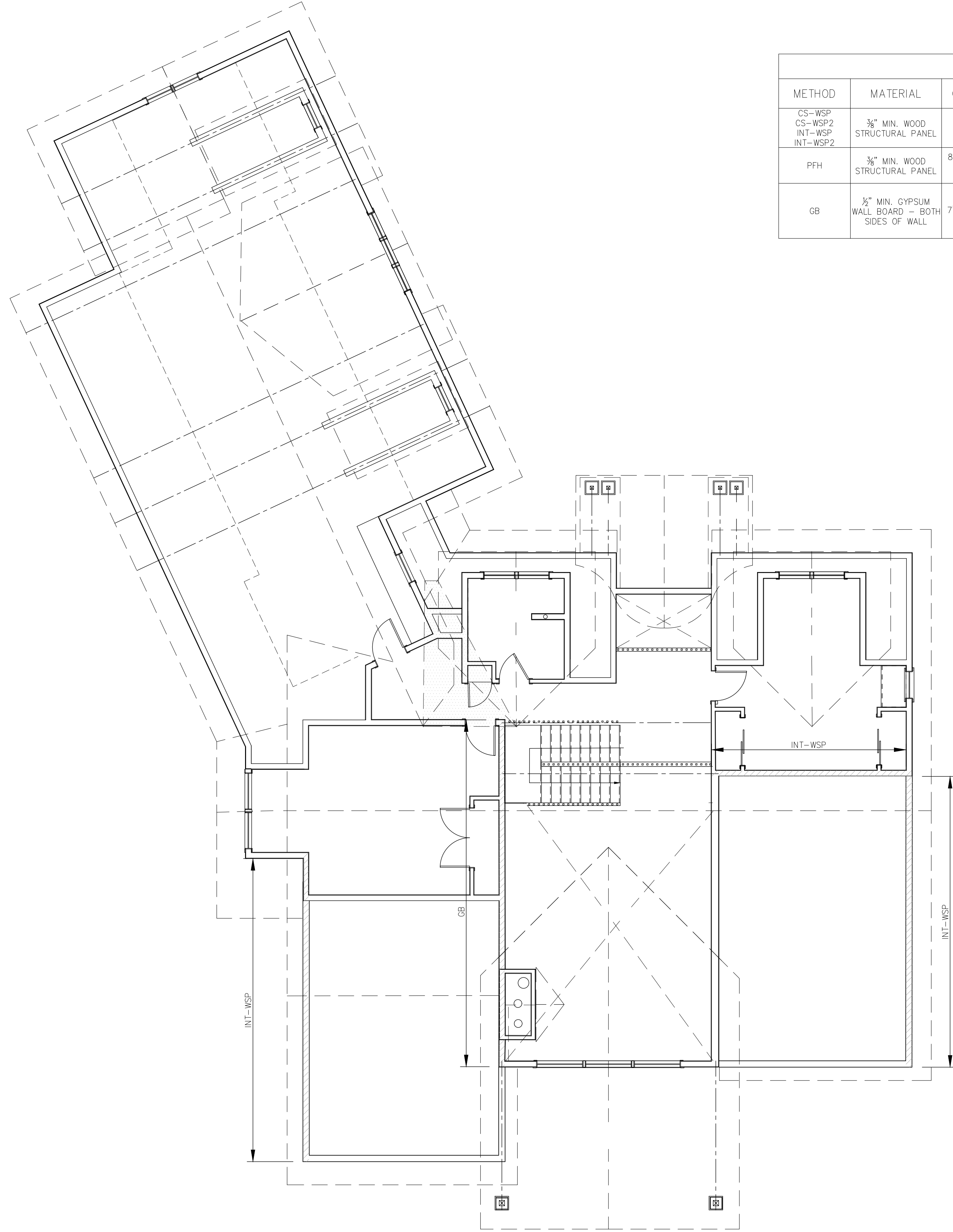
S-4

ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET



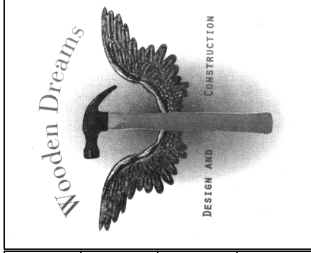
DESIGN CONCEPT PLANS BY:  
WOODEN DREAMS, INC.  
1883 SIOUX BLVD.  
NEW BRIGHTON, MN 55112 651-636-7645



BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY		R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/56	1/2" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	METHOD PFH FIGURE R602.10.6.2, SEE 1/56
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

1 UPPER LEVEL BRACING PLAN  
S-5 3/16" = 1'-0"

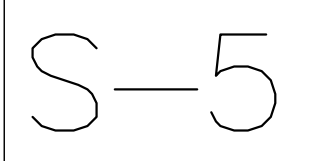
DESIGN CONCEPT PLANS BY:  
WOODEN DREAMS, INC.  
1883 SIOUX BLVD.  
NEW BRIGHTON, MN 55112 651-636-7645



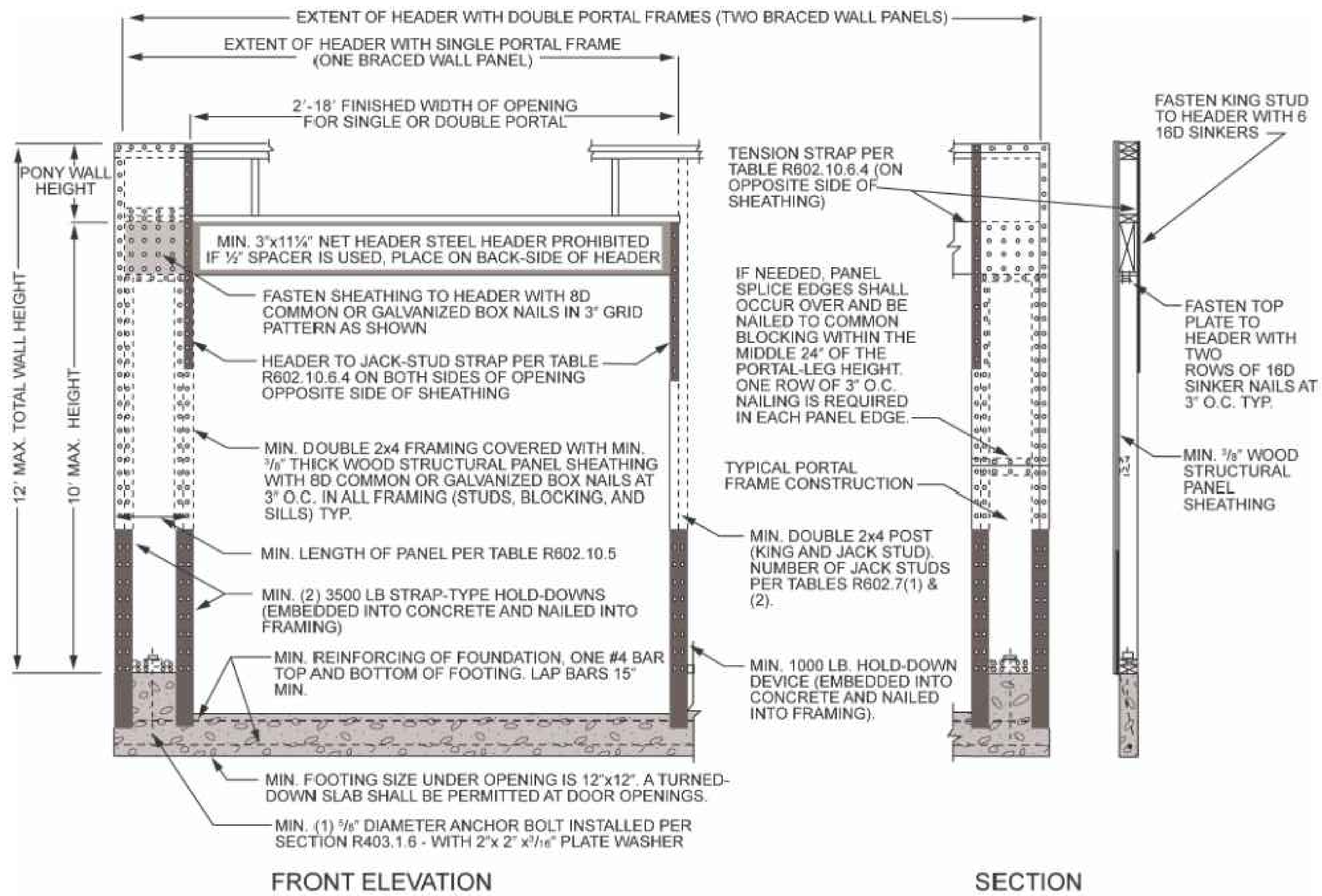
ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:  
BARB & CHUCK MUELLER  
RANDOM LAKE, WISCONSIN

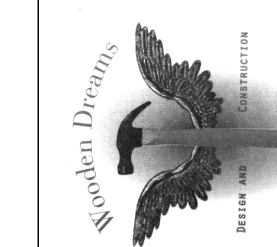




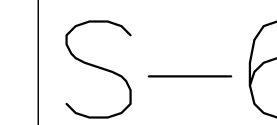


For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R602.10.6.2 METHOD PFH—PORTAL FRAME WITH HOLD-DOWNS



ISSUE/REVISION	1/16/23	BID SET
A		
B	9/8/23	BID SET
C	2/9/24	BID SET



# PLAT OF SURVEY

OWNERS:  
 CHARLES J. MUELLER  
 BARBARA J. MUELLER  
 PO BOX 323  
 RANDOM LAKE, WI 53075

SITE ADDRESS:  
 EAST SHORE DRIVE  
 RANDOM LAKE, WI  
 PARCEL # 5917-674-6959

## LEGAL DESCRIPTION

LOT SEVEN (7) IN LAKE VIEW ESTATES, VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY, WISCONSIN.

## FURTHER DESCRIBED AS:

LOT SEVEN (7) IN LAKE VIEW ESTATES, BEING PART OF GOVERNMENT LOT 4, SECTION 26, TOWN 13 NORTH, RANGE 21 EAST, VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY, WISCONSIN.

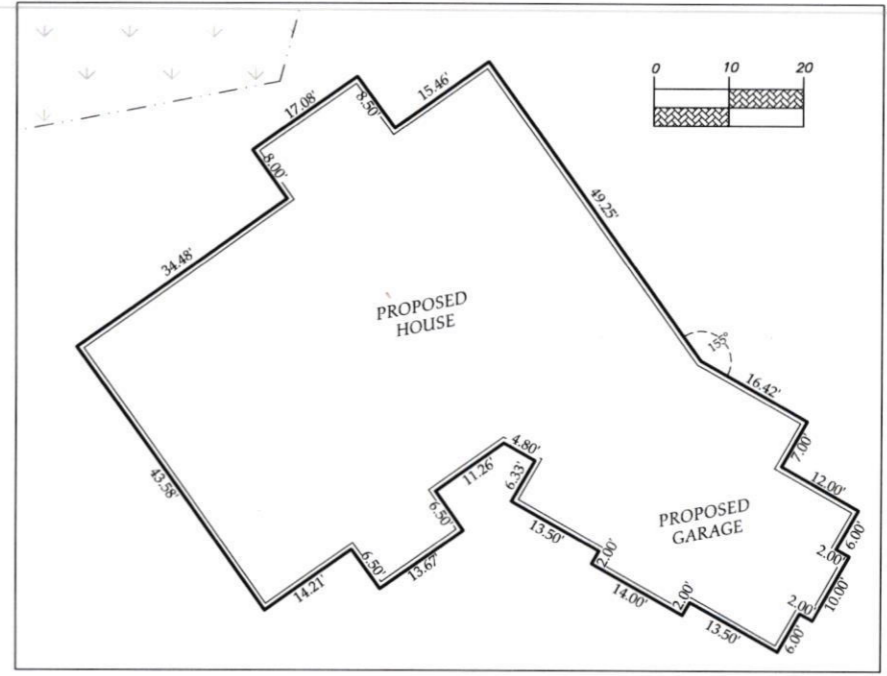
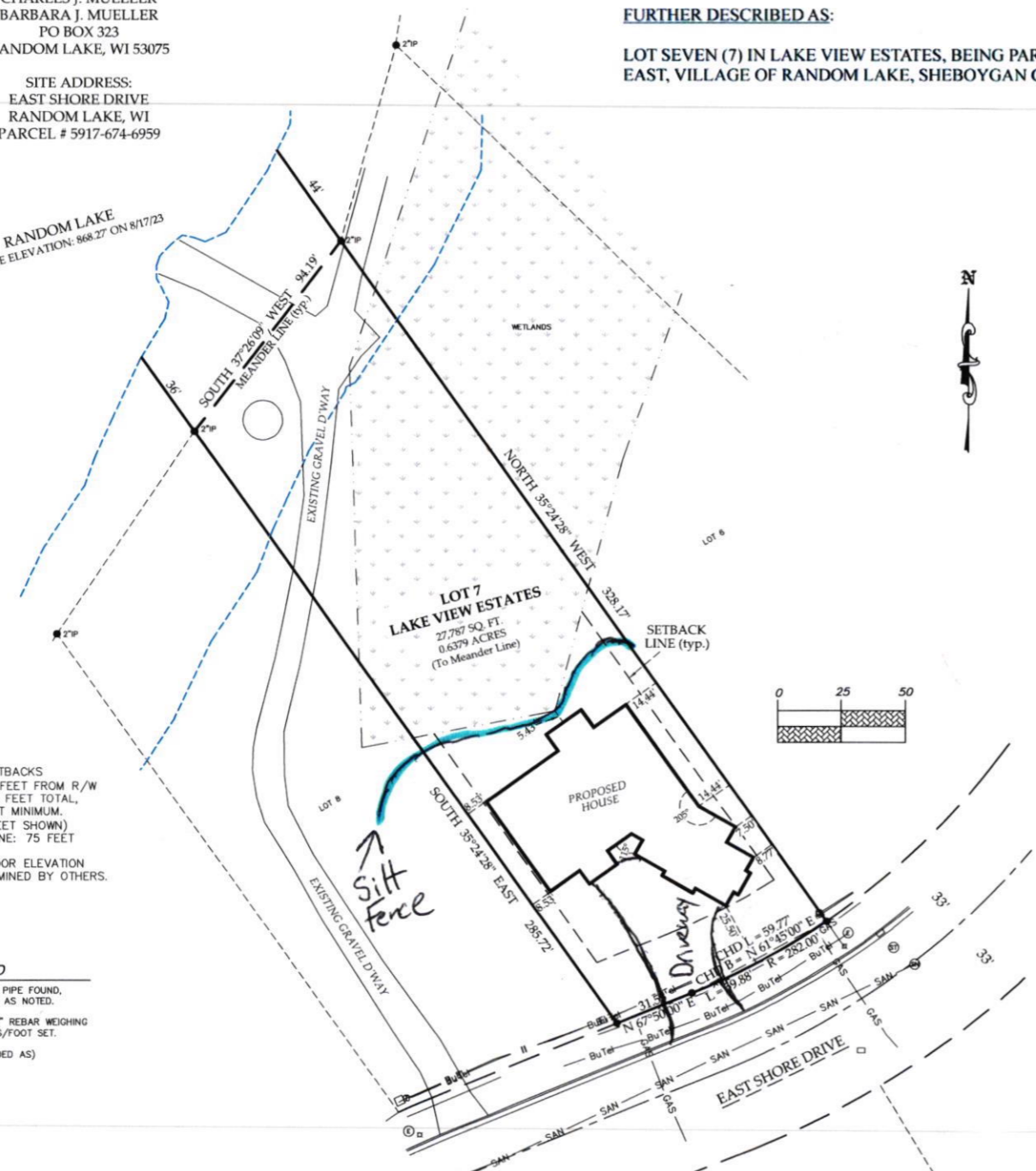
RANDOM LAKE  
 LAKE ELEVATION: 868.27 ON 8/17/23

SETBACKS  
 FRONT: 25 FEET FROM R/W  
 SIDE: 15 FEET TOTAL,  
 7 FEET MINIMUM,  
 (7.5 FEET SHOWN)  
 SHORELINE: 75 FEET  
 FIRST FLOOR ELEVATION  
 TO BE DETERMINED BY OTHERS.

### LEGEND

- 1" IRON PIPE FOUND,  
OR AS NOTED.
- 3/4"x18" REBAR WEIGHING  
1.13 LBS/FOOT SET.  
(RECORDED AS)

SHEET 1  
 OF 1



THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNER OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE THE TITLE THERETO WITHIN 1 YEAR FROM THE DATE HEREON.

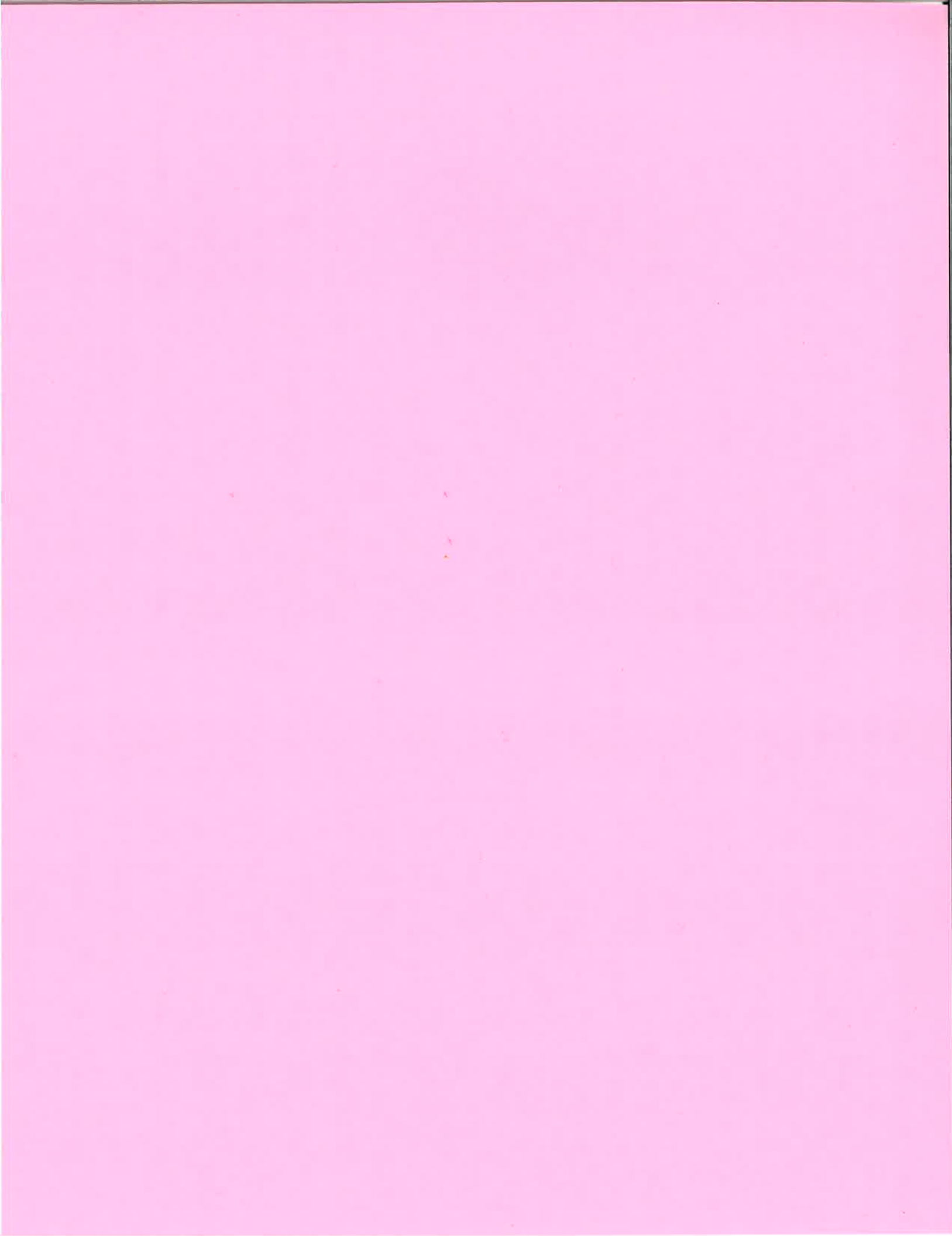
I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSION OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY, AND THAT I HAVE COMPLIED WITH WISCONSIN CHAPTER A-E 7.

SURVEYED BY JOSEPH W. DAVID  
 MAPPED BY J. SCOTT HENKEL, PLS



122 Wisconsin Street, West Bend, WI 53095  
 262.346.7800 kparish@parishse.com

FN: H-23-23 Date: 2/07/24







Stephanie Waala &lt;clerktreasurer@randomlakewi.com&gt;

---

## Parking on Random Lake Dr.

1 message

---

**Stephen Cobb** <scobb@rladvantage.org>

Fri, Feb 23, 2024 at 2:27 PM

To: Stephanie Waala &lt;clerktreasurer@randomlakewi.com&gt;, Pat Depies &lt;randomlakechief@gmail.com&gt;, "plederer@randomlakewi.com" &lt;plederer@randomlakewi.com&gt;

Hello Peter,

I met with Pat today and we talked about some of the right-of-ways they would need for the ladder truck on the streets here. He was confident that the street was wide enough to allow for a lane of parking on the west curb and the ladder truck to operate in the center of the road without problems. He did indicate that he would be looking for 20' of no parking paint at each drive and intersection so that the truck could more easily negotiate turns into and out of any of these driveways.

Right now, the entire west curb, from Wolf Rd. to Grand Ave. is marked No Parking 7:30 to 3:30 School Days Only. We are asking that the areas (generally marked in yellow) be modified to allow parking.

The photo titled North RLR Parking shows a stretch north of our northernmost driveway. The area marked in blue is currently marked No Parking 7:30-3:30 School Days Only. We would like about 180 feet north of this driveway to remain No Parking. We want to make sure stopping in the area is permitted so it can be used to supplement school drop off. We also want to make sure that this space is not used to leave a standing vehicle.

I've also included a couple of photos of what we intend to do in the area around the elementary entrance and the west parking lot entrance(s). The plan is to use the small portion of lot we're still going to have at the north end to let cars come in and circle around. We're going to mark the exit Right Turn Only to try and keep things moving.

The photo called West Lot shows how we plan to move cars and busses in the rear parking lot. We ordered a bunch of lane delineators we'll use to mark traffic and pedestrian lanes.

Neither of these last two need any sort of Board approval, but it seemed like there was a lot of interest in what we're planning.

The first 2, South RLR Parking and North RLR Parking and in response to the councils request for some photos. Give me a call next week so I can go over any questions you may have before I present to them again.

--

Steve Cobb  
Community Resource Officer  
Random Lake School District and the Village of Random Lake  
[605 Random Lake Road](#)  
Random Lake, WI 53075

(920) 994-4304 Ext. 5105

Confidentiality Notice: This e-mail and any files attached to it are confidential and are intended solely for the use of the individual or entity to whom they are addressed. If you are not the intended recipient or the person responsible for delivery of the e-mail to the intended recipient, be advised that you have received this e-mail in error and that any use, dissemination, forwarding, printing, or copying of this e-mail is strictly prohibited. If you have received this e-mail in error, please notify the sender by return e-mail and then destroy it. Thank you.

---

### 5 attachments

 **Overall.pdf**  
1563K **South RLR Parking.pdf**  
1807K

 **North RLR Parking.pdf**  
1495K

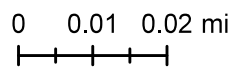
 **Elementary Drop Off RLR.pdf**  
762K

 **West Lot.pdf**  
676K



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

### Back Lot

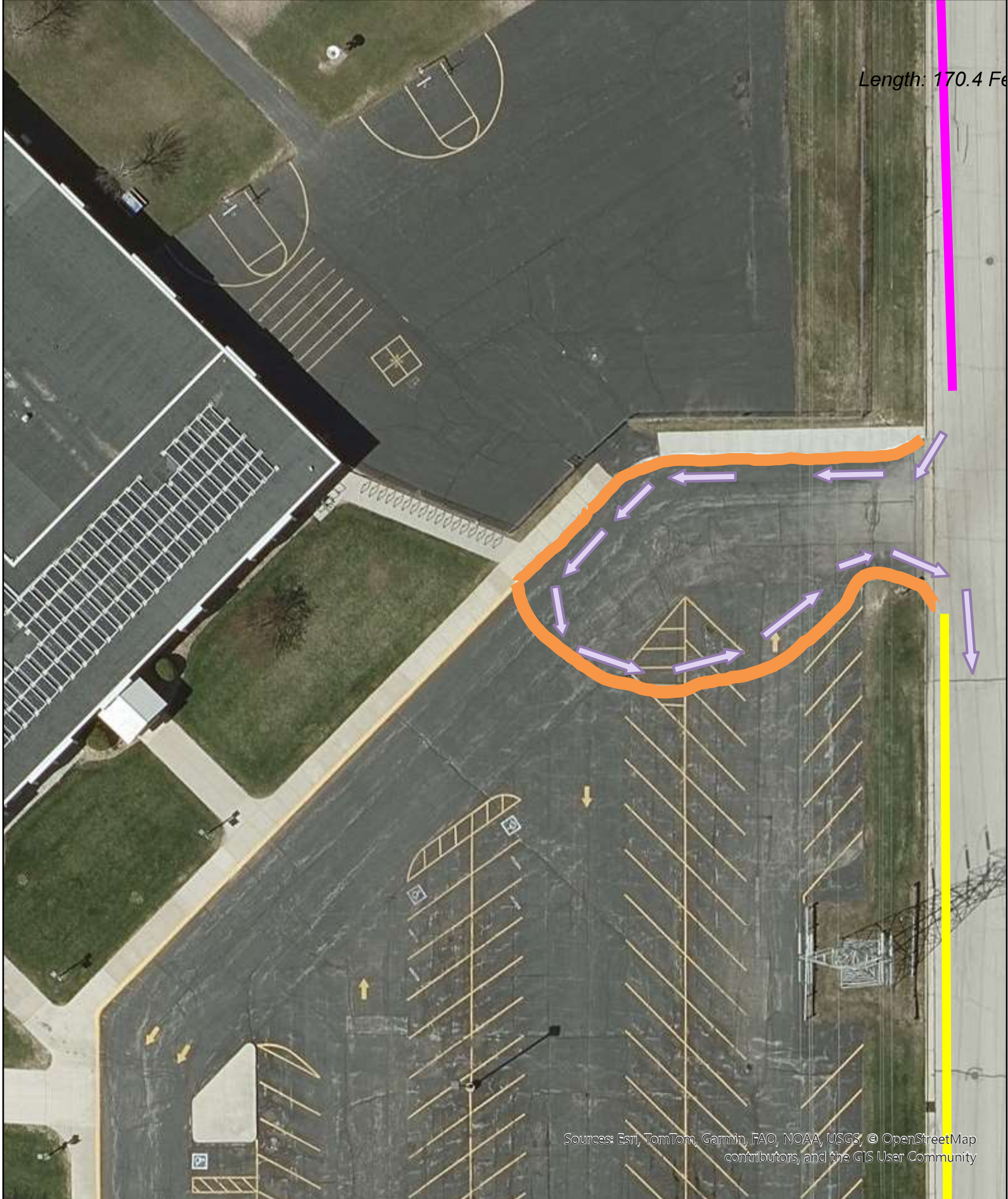


This map is intended for advisory purposes only. This information has been obtained from sources believed to be reliable based on plats, surveys, and deeds. In areas where discrepancies occur between equivalent legal records, the discrepancy is allowed to remain until such time as it is addressed. Sheboygan County distributes this data on an 'as is' basis; no warranties are implied.



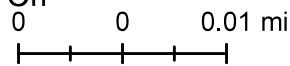


Length: 170.4 Feet



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

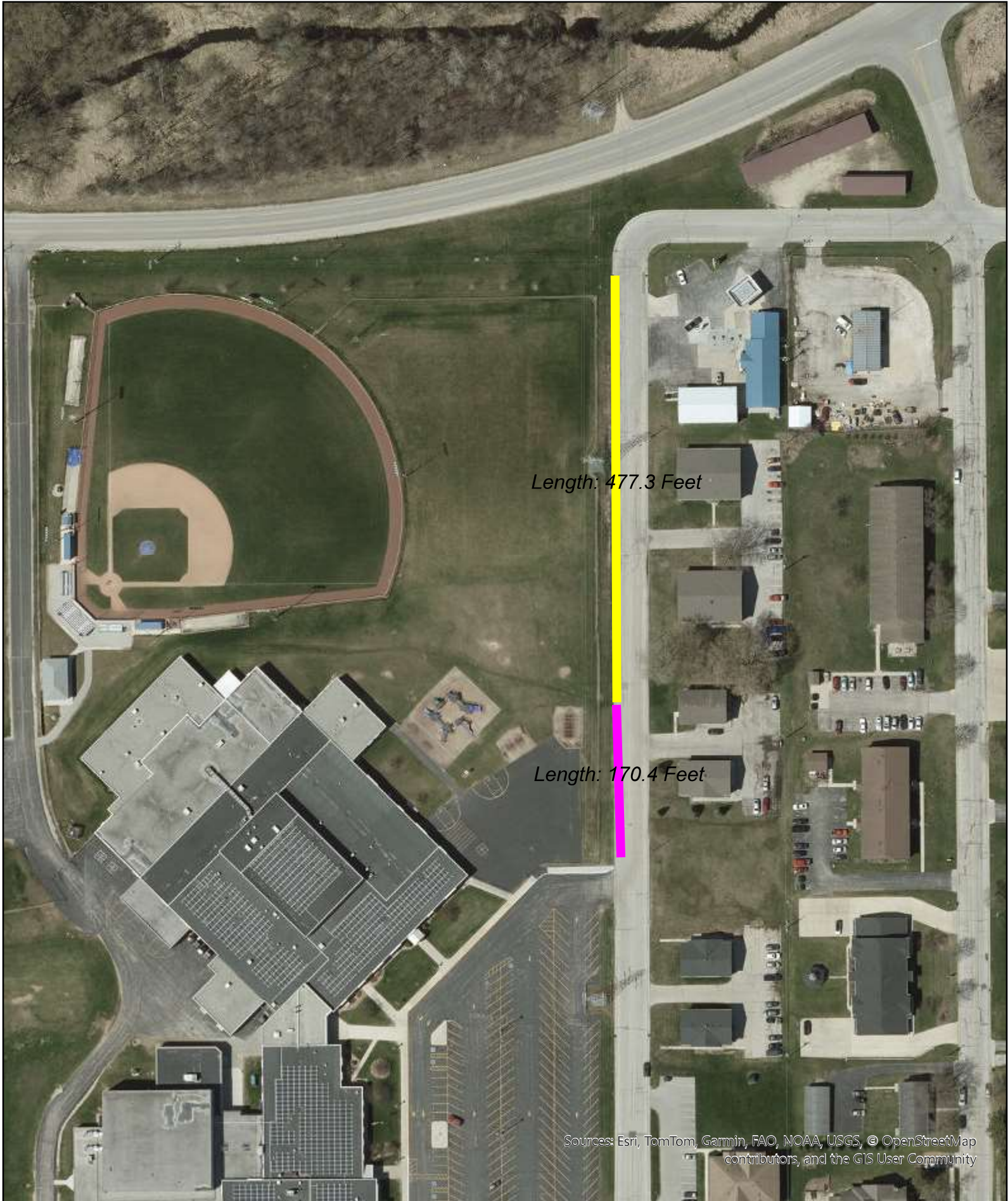
### Elementary Drop Off



This map is intended for advisory purposes only. This information has been obtained from sources believed to be reliable based on plats, surveys, and deeds. In areas where discrepancies occur between equivalent legal records, the discrepancy is allowed to remain until such time as it is addressed. Sheboygan County distributes this data on an 'as is' basis; no warranties are implied.





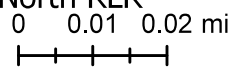


Length: 477.3 Feet

Length: 170.4 Feet

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

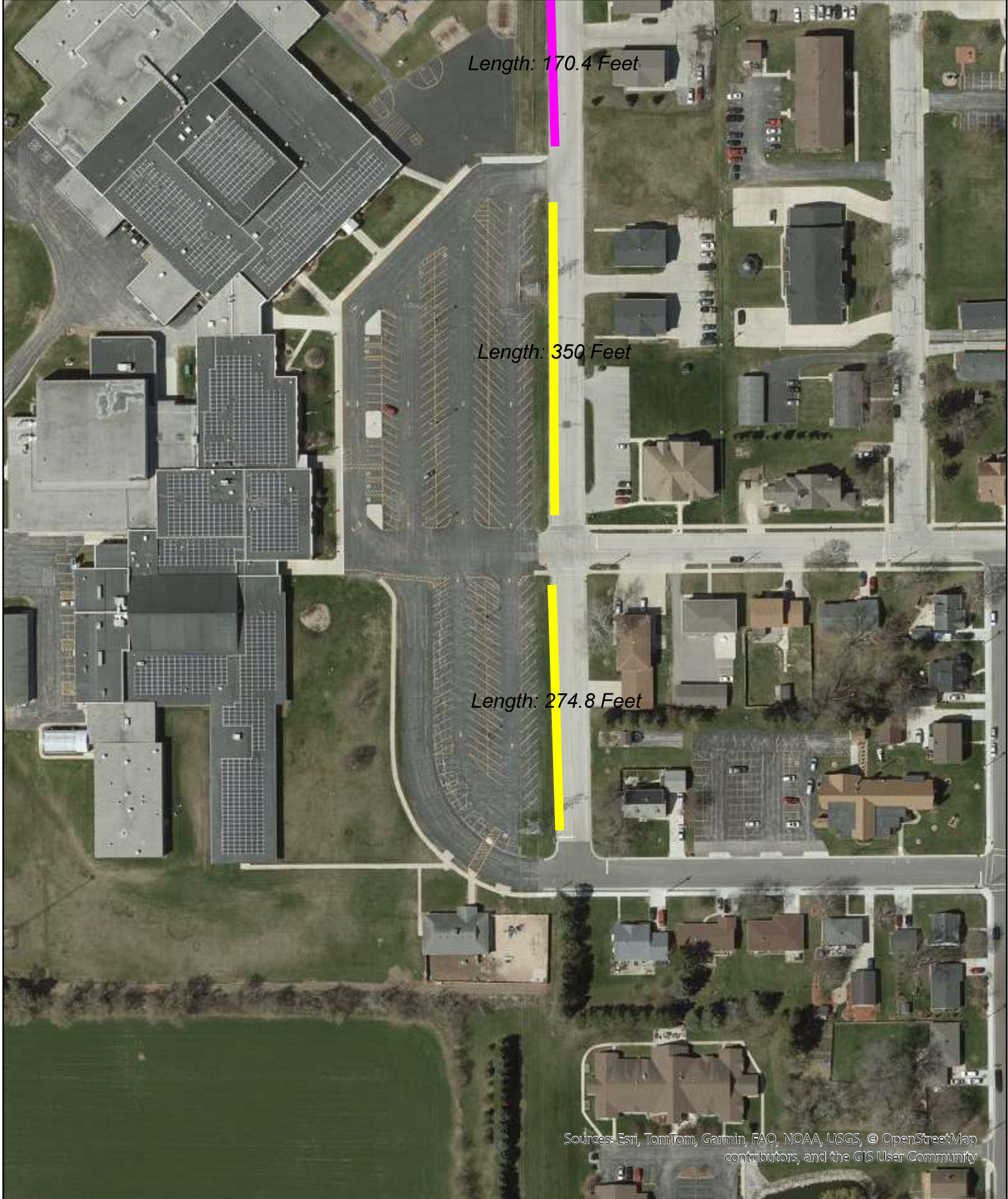
### Parking Request North RLR



This map is intended for advisory purposes only. This information has been obtained from sources believed to be reliable based on plats, surveys, and deeds. In areas where discrepancies occur between equivalent legal records, the discrepancy is allowed to remain until such time as it is addressed. Sheboygan County distributes this data on an 'as is' basis; no warranties are implied.







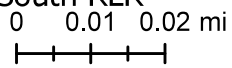
Length: 170.4 Feet

Length: 350 Feet

Length: 274.8 Feet

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

### Parking Request South RLR



This map is intended for advisory purposes only. This information has been obtained from sources believed to be reliable based on plats, surveys, and deeds. In areas where discrepancies occur between equivalent legal records, the discrepancy is allowed to remain until such time as it is addressed. Sheboygan County distributes this data on an 'as is' basis; no warranties are implied.

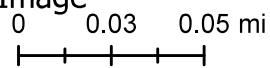






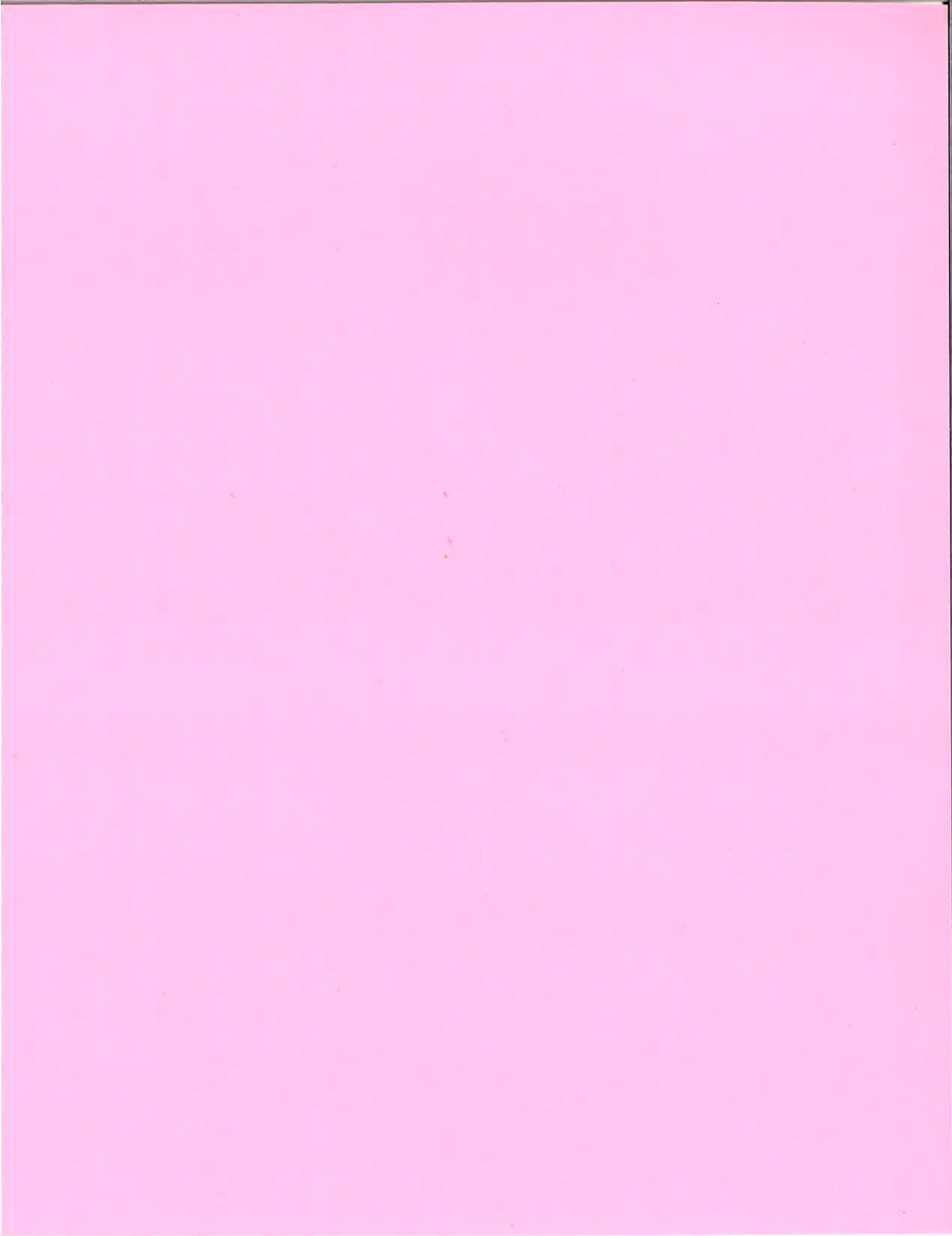
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

### Overall Property Image



This map is intended for advisory purposes only. This information has been obtained from sources believed to be reliable based on plats, surveys, and deeds. In areas where discrepancies occur between equivalent legal records, the discrepancy is allowed to remain until such time as it is addressed. Sheboygan County distributes this data on an 'as is' basis; no warranties are implied.





600-00-48200

January 19, 2009 signed

Begin date June 1, 2009

5 year \$ 15,000

4 additional 5 year terms

5 year term thereafter 115%

2% annual increase

\$ 15,000

June 1, 2009 - May 31, 2010

15,300

15,604

1st term

15,918.12

16,236.48

16,561.21

June 1, 2014 - May 31, 2015

16,892.43

17,230.28

2nd term

17,574.89

17,926.39

18,284.92

June 1, 2019 - May 31, 2020

18,650.62

19,023.63

3rd term

19,404.10

19,792.18

20,188.02

June 1, 2024 - May 31, 2025

20,591.78

21,003.62

4th term

21,423.69

21,852.14

22,289.20

June 1, 2029 - May 31, 2030

22,734.98

Final term



23,189.68

23,653.47

24,124.54

---

27,745.52 June 1, 2034 - May 31, 2039

---

31,907.35 June 1, 2039 - May 31, 2044

---

36,693.45 June 1, 2044 - May 31, 2049

Venzon Wireless  
Attn: Network Real Estate  
180 Wash in Valley Rd  
Bedminster NJ 07921



November 10, 2023

ATTN:

**Site Name: Random Lake Village of Random Lake**

**Site ID: 78705**

Dear Landlord,

I am following up with you regarding our recent telephone conversation setting forth Verizon Wireless's Lease Optimization Program. As discussed during our conversation, Verizon Wireless is interested in making certain modifications to the cell site lease regarding the Verizon Wireless communications facility on your property. These lease modifications will allow the cell site on your property to better meet Verizon Wireless's current operational needs and enhance its long-term value to the overall network.

**Criteria for Cell Site Retention**

As we discussed, Verizon Wireless would like to include this site in its long-term portfolio under the following terms:

- **New Rent Amount:** \$1,120.00 per month, commencing on (June 1, 2024)
- **New Rent Escalator:** Two Percent (2%) every year (next increase on June 1, 2025)
- **Additional Renewal Terms:** Six (6) additional five (5) year renewal terms

The foregoing proposal does not constitute a binding offer to amend the lease. No legal obligation is created by this letter or any other written or oral communications until a written amendment to the lease has been signed by both Landlord and Verizon Wireless. Verizon Wireless will continue to abide by the terms of the current lease until an amendment has been executed or the existing lease has been terminated or expires. Verizon Wireless values its affiliation with you and hopes that you choose to secure your site(s) to continue a long and mutually profitable relationship in the years to come. After having reviewed this proposal, please contact me prior to November 17<sup>th</sup>, 2023.

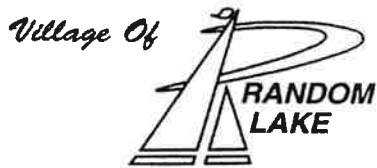
Sincerely,



**Parker Pickens**  
Lease Consultant  
Lease Optimization - CENREV

0 469-342-3211

180 Washington Valley Road, Bedminster, NJ 07921



January 19, 2024

Verizon, Parker Pickens  
180 Washington Valley Rd  
Bedminster, NJ 07921

Dear Lessee,

Thank you for your letter dated November 10, 2023. After review by the Public Safety Committee the Village of Random Lake would like to propose the following criteria in regards to the terms you have proposed.

- **New Rent Amount:** \$1,682.34 per month, commencing on (June 1, 2024)
- **New Rent Escalator:** Two Percent (2%) every year (next increase on June 1, 2025)
- **Additional Renewal Terms:** Six (6) additional five (5) year renewal terms

Furthermore, the village would like to request a **Radio Frequency Study** be conducted prior to any changes being made as well as after changes have been made to the site located at parcel 59176743610 and 59176743600.

Please let us know if you would like to negotiate these terms, otherwise we will continue to abide by the current terms of the lease.

Sincerely,

Stephanie Waala  
Clerk/Treasurer  
Village of Random Lake





Stephanie Waala &lt;clerktreasurer@randomlakewi.com&gt;

**Re: [E] Re: Verizon Site: 78705 I Term Sheet**

1 message

**Pickens, Parker** <parker.pickens@verizonwireless.com>  
To: Stephanie Waala <clerktreasurer@randomlakewi.com>

Fri, Jan 19, 2024 at 12:30 PM

Stephanie,

The rent they are requesting is the same amount they will be receiving come June of this year. In order to keep this site economically sustainable for the long term the rent amount must be reduced. After our team completed the audit they came in at \$1,120/mo with six additional renewal terms. Is this not agreeable moving forward? Please let me know.

Best,

On Fri, Jan 19, 2024 at 12:31 PM Stephanie Waala &lt;clerktreasurer@randomlakewi.com&gt; wrote:

Stephanie Waala  
Clerk/Treasurer  
Village of Random Lake  
920-994-4852

On Fri, Jan 19, 2024 at 8:36 AM Pickens, Parker <parker.pickens@verizonwireless.com> wrote:  
Good morning, Stephanie,

Would you mind resending the response again? I wasn't able to open it. Thank you!

Best,

On Fri, Jan 19, 2024 at 9:20 AM Stephanie Waala <clerktreasurer@randomlakewi.com> wrote:  
Hi Parker,

Please see attached response to the initial terms sent.

Stephanie Waala  
Clerk/Treasurer  
Village of Random Lake  
920-994-4852

On Fri, Nov 10, 2023 at 10:06 AM Pickens, Parker <parker.pickens@verizonwireless.com> wrote:

Good morning,

Please see the attached terms for the agreement located at [600 Butler Street, Random Lake, WI 53075](#). To provide ample time for your review, I will follow up next week and we can discuss the next steps.

Office hours Monday-Friday 8:00am to 4:00pm CST.

Looking forward to speaking with you soon.

-

## FIRST AMENDMENT TO WATER TOWER LEASE AGREEMENT

This First Amendment to Water Tower Lease Agreement (“First Amendment”) is made, and shall be effective, as of the last date of the signatures below (“Effective Date”), between the Village of Random Lake (“LESSOR”), and Cellco Partnership d/b/a Verizon Wireless (“LESSEE”). LESSOR and LESSEE (or their predecessors in interest) entered into that certain Water Tower Lease Agreement dated January 19, 2009, as may have been previously amended and/or assigned, (the “Agreement”), pursuant to which LESSEE is leasing or licensing from LESSOR a portion of that certain property located at 600 Butler Street, Random Lake, WI 53075, as more particularly described in the Agreement. LESSOR and LESSEE may be referenced in this First Amendment individually as a “Party” or collectively as the “Parties.”

In consideration of the mutual covenants and promises contained in this First Amendment, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the Parties, the Parties agree to amend the Agreement as follows:

1. Term. Notwithstanding anything contained in the Agreement to the contrary, the Agreement shall expire on May 31, 2024. Commencing on June 1, 2024, the Agreement shall be extended for 5 years (“Initial Extension Term”). The term of the Agreement shall thereafter automatically extend for 6 additional terms of 5 years each (each, an “Additional Extension Term”), unless LESSEE terminates the Agreement by giving LESSOR notice of such termination at least 30 days prior to the expiration of the Initial Extension Term or then-current Additional Extension Term. The terms of Section 6 of the Agreement, “Additional Extensions,” shall be amended to be effective following the Additional Extension Terms stated in this paragraph.

2. Rent. Commencing on June 1, 2024, the monthly rent shall be \$1,120.00 to be paid on the first day of the month in advance to LESSOR or such other person as LESSOR may designate in writing at least 30 days in advance of any rental payment date. Beginning on June 1, 2025, the monthly rent shall increase by 2% over the monthly rent then in effect and by 2% over the then current monthly rent on each one-year anniversary of June 1, 2025 thereafter.

3. Rent Credit. This First Amendment provides for a reduction in rent, effective June 1, 2024. The Parties acknowledge and agree that LESSEE shall be entitled to a credit in the event of any overpayment of rent resulting from said reduction in rent. Such credit shall be applied against LESSEE’s rent due under the Agreement.

4. Continued Effect. Except as amended hereby, all of the other terms and conditions of the Agreement shall remain in full force and effect. In the event of a conflict between any term and provision of the Agreement and this First Amendment, the terms and provisions of this First Amendment shall control. In addition, except as otherwise stated in this First Amendment, all initially capitalized terms shall have the same respective defined meaning stated in the Agreement. All captions are for reference purposes only and shall not be used in the construction or interpretation of this First Amendment.

5. Ratification and Reaffirmation. LESSOR and LESSEE do hereby ratify, reaffirm, adopt, contract for and agree to be, or continue to be, bound by all of the terms and conditions of the above-referenced Agreement. Except as modified by this First Amendment, all of the terms and conditions of the Agreement are incorporated by reference herein as if set forth at length. It is



acknowledged and agreed that the execution of this First Amendment by the Parties is not intended to and shall not constitute a release of either Party from any obligation or liability which said Party has to the other pursuant to the Agreement.

[SIGNATURE PAGE TO FOLLOW]





**IN WITNESS WHEREOF**, this First Amendment is effective and entered into as of the date last written below.

**LESSOR:**

**Village of Random Lake**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

**LESSEE:**

**Cellco Partnership d/b/a Verizon Wireless**

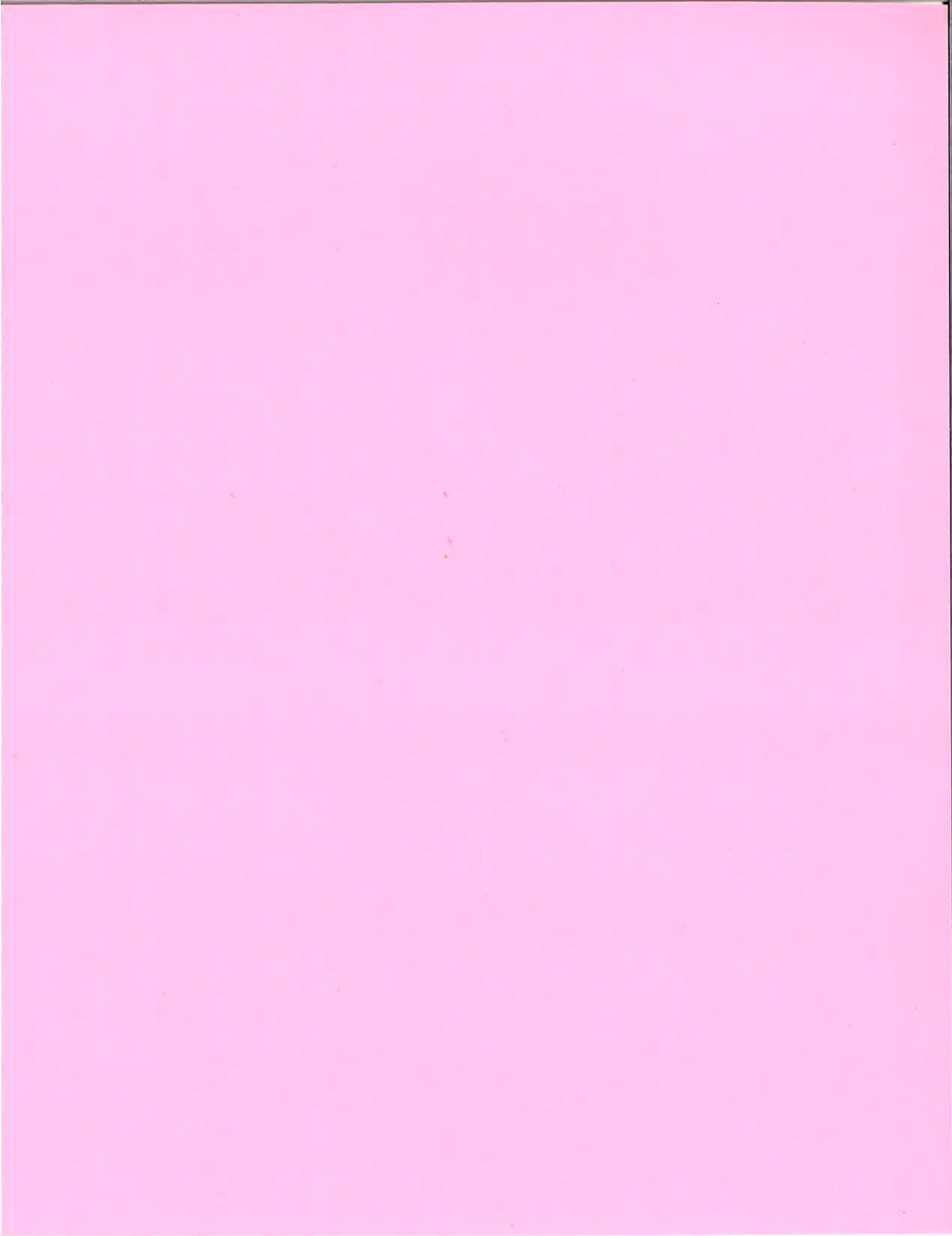
By: \_\_\_\_\_

Name: Sergei Mislevy

Title: Executive Director-Network Engineering/Real Estate

Date: \_\_\_\_\_







Milwaukee Burlington Chicago Fox Valley Louisville Wausau

February 01, 2024

Project No: 22.0001.01

Invoice No: 123671

Peter Lederer  
Random Lake, Village of  
Post Office Box 344  
96 Russell Drive  
Random Lake, WI 53075

Project 22.0001.01 Orth Lift Station CM  
clerktreasurer@randomlakewi.com

**Professional Services from November 26, 2023 to December 31, 2023**

**Consultants**

Mead & Hunt	570.00	
<b>Total Consultants</b>	<b>570.00</b>	<b>570.00</b>
	<b>Total this Invoice</b>	<b>\$570.00</b>

For questions regarding this invoice please contact: Aaron Groh





6737 W. Washington Street, Suite 3500  
Milwaukee, WI 53214  
1-414-291-8840

INVOICE

Aaron Groh  
Kapur, Inc.  
apinvoice@kapurinc.com

January 8, 2024  
Invoice Number: 57698

**Invoice Total \$570.00**

Project Manager Patrick Carnahan

Project R4666926- 21PS37352 - Kapur - Village of Random Lake: Electrical and  
222185.01 Instrumentation & Controls Design for New Lift Station

Contract #: 22.0001.01

**Professional Services through December 31, 2023**

Phase 000002 ESDC

**Professional Personnel**

	Hours	Rate	Amount	
Williams, Barry	3.00	190.00	570.00	
<b>Total Professional Services</b>				<b>570.00</b>
		<b>Total this Phase</b>		<b>\$570.00</b>
		<b>Total Invoice Amount</b>		<b>\$570.00</b>

**Remittance Information:**

**ACH:**  
Account Number: 5315475  
ABA/Routing Number: 071000288  
Bank Name: BMO Harris Bank N.A.  
Email Remittance: accountsreceivable@meadhunt.com

**MAILING:**  
Symbiont  
Attn: Accounts Receivable  
6737 W. Washington Street, Suite 3500  
Milwaukee, WI 53214

---

Project	22.0001.01	Orth Lift Station CM	Invoice	123671
---------	------------	----------------------	---------	--------

---

## Billing Backup

Thursday, February 1, 2024

Kapur and Associates, Inc.

Invoice 123671 Dated 2/1/2024

10:29:46 AM

---

Project	22.0001.01	Orth Lift Station CM
---------	------------	----------------------

### Consultants

Mead & Hunt

AP 142073

12/31/2023

Mead & Hunt

570.00

**Total Consultants**

**570.00**

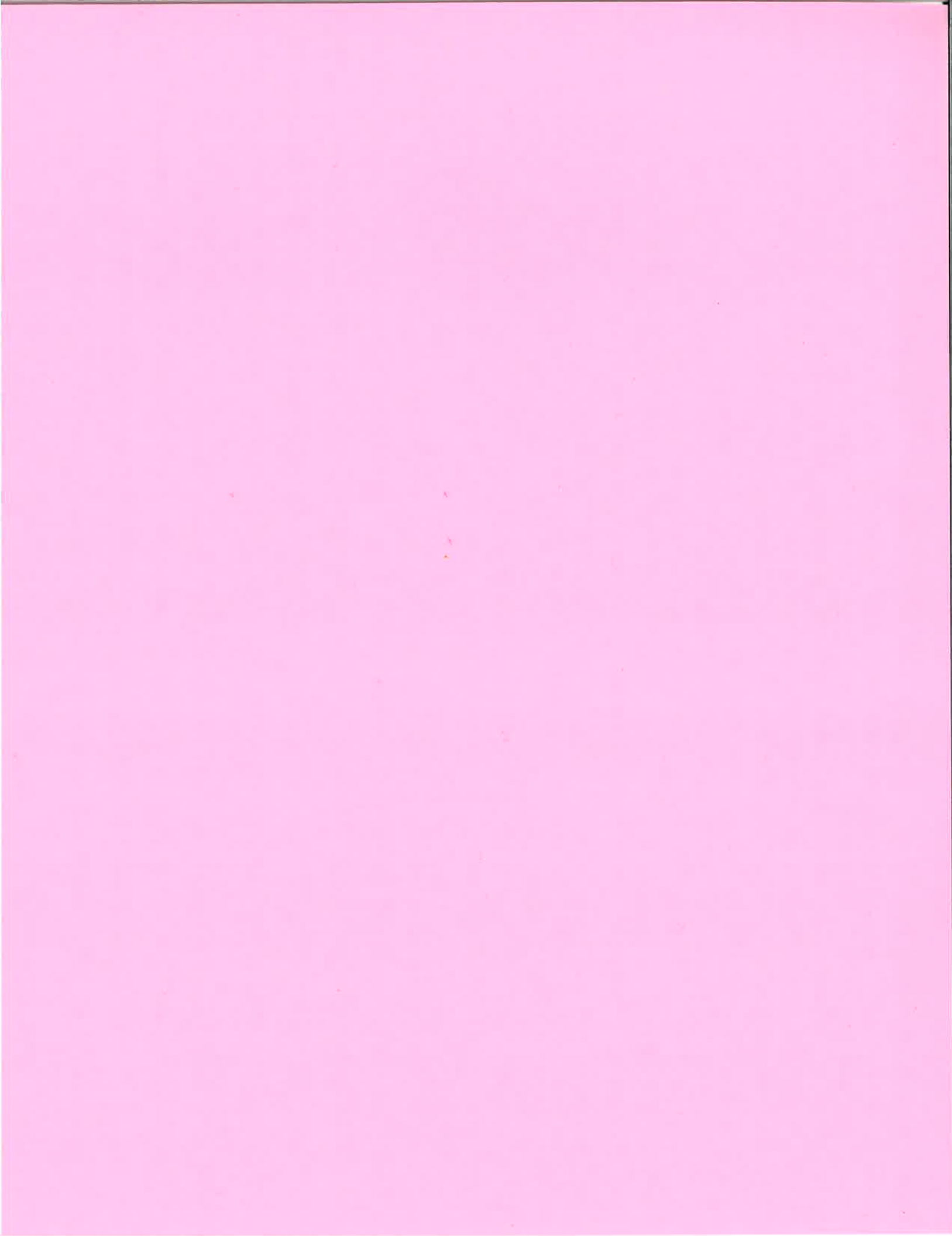
**570.00**

**Total this Project**

**\$570.00**

**Total this Report**

**\$570.00**





## Peter Lederer

---

**From:** Aaron R. Groh, PE <agroh@kapurinc.com> on behalf of Aaron R. Groh, PE  
**Sent:** Tuesday, February 13, 2024 1:34 PM  
**To:** plederer  
**Subject:** FW: bonding

Peter,

Per our discussion. RG Schmitt is asking for a formal Final change order that updates the final contract amount to match the final payment that the Village has already paid.

This is simply a formality at the request of the bonding company. No additional monies would be paid by the Village.

Please let me know how to proceed, I can draft that change order if you'd like, and then you'd simply sign and send back to RG Schmitt.

Thanks,

**Aaron R. Groh, PE**

**M:** 414.651.2104

**O:** 414.751.7213

**From:** RG Schmitt <rgschmitt1@outlook.com>  
**Sent:** Monday, February 12, 2024 9:07 AM  
**To:** Aaron R. Groh, PE <agroh@kapurinc.com>  
**Subject:** RE: bonding

Good morning unfortunately no I already sent that. They are asking for a Change order that adjusts the contract to actual- I know there was a \$60,000 allowance originally that made up for the lower contract amount because it was not utilized. I already sent what is attached and they won't accept that and want to bill us for more.

**From:** Aaron R. Groh, PE <agroh@kapurinc.com>  
**Sent:** Monday, February 12, 2024 8:40 AM  
**To:** RG Schmitt <rgschmitt1@outlook.com>  
**Subject:** RE: bonding

Good morning,

Will the payment recommendation #6-Final and CCO #2 work?

Thanks,

**Aaron R. Groh, PE**

**M:** 414.651.2104

**O:** 414.751.7213

**From:** RG Schmitt <rgschmitt1@outlook.com>  
**Sent:** Wednesday, February 7, 2024 9:26 AM

**To:** Aaron R. Groh, PE <[agroh@kapurinc.com](mailto:agroh@kapurinc.com)>  
**Subject:** FW: bonding

Good morning can you issue a change order showing the actual contract amount in order for me to receive a credit for cost of bonding this job? Thank you

**From:** Pennie Hildebrandt <[Pennie.Hildebrandt@m3ins.com](mailto:Pennie.Hildebrandt@m3ins.com)>  
**Sent:** Wednesday, February 7, 2024 8:49 AM  
**To:** RG Schmitt <[rgschmitt1@outlook.com](mailto:rgschmitt1@outlook.com)>  
**Subject:** FW: bonding

Good morning Gail,  
I am following up on the email below.  
Cincinnati Insurance is unable to process the RP on the Random Lake Lift Station without proof or without a copy of the change order that outlines that change you are referring to below.  
Let me know if you have any questions.  
Thank you,  
Pennie



**Pennie Hildebrandt, CIC, CISR**  
**Senior Client Manager**  
**CA License 4064780**  
M3 Insurance, CA license #0B26489  
O: 920 322 8626 | F: 608 273 1725

**From:** Pennie Hildebrandt  
**Sent:** Wednesday, January 31, 2024 2:59 PM  
**To:** RG Schmitt <[rgschmitt1@outlook.com](mailto:rgschmitt1@outlook.com)>  
**Subject:** RE: bonding

Hi Gail,  
I was following up with the carrier on the revision for the Random Lake Lift Station.  
They need something from the obligee (a change order) to account for the \$66,142.67 amount that we are off by.  
Would you happen to have something along these lines?  
Thanks,  
Pennie



**Pennie Hildebrandt, CIC, CISR**  
**Senior Client Manager**  
**CA License 4064780**  
M3 Insurance, CA license #0B26489  
O: 920 322 8626 | F: 608 273 1725

**From:** RG Schmitt <[rgschmitt1@outlook.com](mailto:rgschmitt1@outlook.com)>  
**Sent:** Monday, January 29, 2024 8:43 AM  
**To:** Pennie Hildebrandt <[Pennie.Hildebrandt@m3ins.com](mailto:Pennie.Hildebrandt@m3ins.com)>  
**Subject:** RE: bonding

**Alert - External Email:** Click links or open attachments with caution

Good morning here is the schedule of values showing the final billings to get to the final contract price. Thanks, Gail

**From:** Pennie Hildebrandt <[Pennie.Hildebrandt@m3ins.com](mailto:Pennie.Hildebrandt@m3ins.com)>

**Sent:** Monday, January 29, 2024 7:03 AM

**To:** 'RG Schmitt' <[rgschmitt1@outlook.com](mailto:rgschmitt1@outlook.com)>

**Subject:** RE: bonding

Good Morning Gail,

Would you happen to have any paperwork that shows this credit?

I will need to forward it onto Cincinnati for evaluation.

Thanks,

Pennie



**Pennie Hildebrandt, CIC, CISR**

**Senior Client Manager**

**CA License 4064780**

M3 Insurance, CA license #0826489

O: 920 322 8626 | F: 608 273 1725

**From:** RG Schmitt [<mailto:rgschmitt1@outlook.com>]

**Sent:** Sunday, January 28, 2024 9:07 AM

**To:** Pennie Hildebrandt <[Pennie.Hildebrandt@m3ins.com](mailto:Pennie.Hildebrandt@m3ins.com)>

**Subject:** RE: bonding

**Alert - External Email:** Click links or open attachments with caution

No that is incorrect. There was a \$60,000 credit for control panels that the city purchased. Our final contract is \$381,051.33. we do not owe we are owed a credit.

**From:** Pennie Hildebrandt <[Pennie.Hildebrandt@m3ins.com](mailto:Pennie.Hildebrandt@m3ins.com)>

**Sent:** Friday, January 26, 2024 12:43 PM

**To:** 'RG Schmitt' <[rgschmitt1@outlook.com](mailto:rgschmitt1@outlook.com)>

**Cc:** Pennie Hildebrandt <[Pennie.Hildebrandt@m3ins.com](mailto:Pennie.Hildebrandt@m3ins.com)>

**Subject:** RE: bonding

Hi Gail,

I have forwarded all of the information onto Cincinnati for processing.

As for the Random Lake Lift Station, the original contract amount was \$427,721 and per your attachment it is now \$47,194.

There will be an additional premium due of \$468.00. An invoice for this will follow under separate cover.

Lastly, as of right now you do not have an open bonds and Cincinnati can current consider jobs up to \$1M single and aggregate limit.

A copy of your 2022 financial statements are needed to renew your Surety Bridge program as of 1/30/2023.

Please advise if limits more than \$1M will be needed.

Thank you,

Pennie





**Pennie Hildebrandt, CIC, CISR**  
**Senior Client Manager**  
**CA License 4064780**  
 M3 Insurance, CA license #0826489  
 O: 920 322 8626 | F: 608 273 1725

**From:** RG Schmitt [<mailto:rgschmitt1@outlook.com>]  
**Sent:** Friday, January 26, 2024 8:13 AM  
**To:** Pennie Hildebrandt <[Pennie.Hildebrandt@m3ins.com](mailto:Pennie.Hildebrandt@m3ins.com)>  
**Subject:** bonding

**Alert - External Email:** Click links or open attachments with caution

Good morning attached is the bid tab results for the City of Portage. Also please find the final contract amount for the Random Lake Lift station in the amount of \$447,194. I'm not sure what the bid bond amount was but we may be due a refund. Also, one of the general contractors that we did a lot of subbing with has retired. That being said, what do we need to do the increase our bonding capacity with Cincinnati? Thank you, Gail

--  
 RG Schmitt Inc.  
 W3734 Evergreen Lane  
 Montello, WI 53949  
 608.297.2800  
[rgschmitt1@outlook.com](mailto:rgschmitt1@outlook.com)

---

PLEASE NOTE: Visit M3's website to view our complete [privacy policy](#).

This email and any attachments are confidential in whole or in part to the intended recipient(s). If you are not the addressee, please do not disseminate, distribute, copy, retransmit, or use the contents of this message. If you have received this e-mail in error, please notify the sender in the email and delete the original email and all copies. M3 Insurance Solutions, Inc. and its affiliates collectively, "M3", cannot honor any request to bind insurance coverage or report claims via e-mail. This email together with any attachments may contain information that is for insurance and risk management advisory purposes only and under no circumstances should be construed as legal advice or a legal opinion. Formal legal advice should be sought from an attorney or legal quarters. Any descriptions of insurance coverage here or attached are for summary purposes only. Please refer to your insurance policies for actual coverage information.

---

**PLEASE NOTE:** Visit M3's website to view our complete [privacy policy](#).

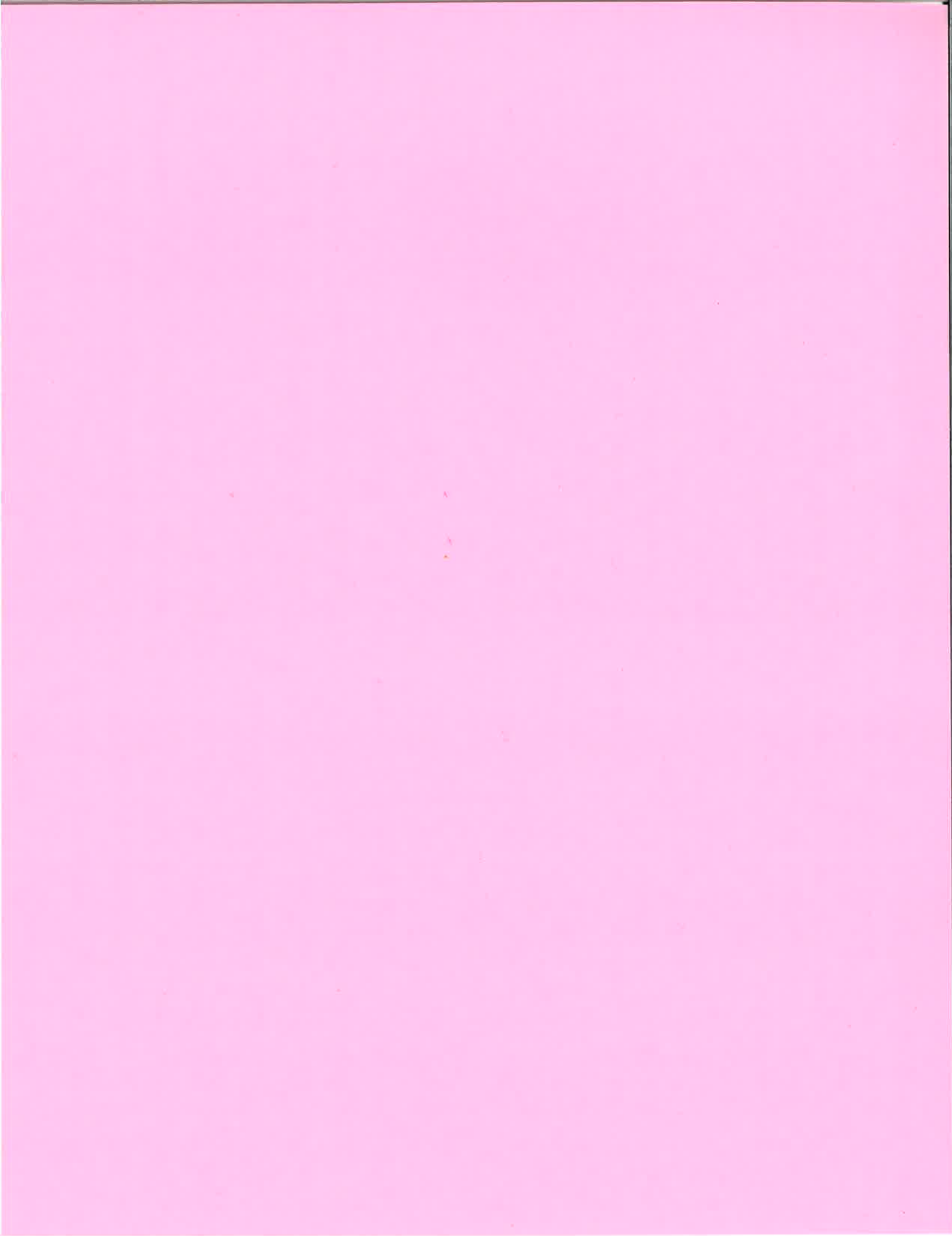
This email and any attachments are for the sole use of the intended recipient(s). If you are not the addressee, note that any disclosure, copying, distribution, or use of the contents of this message is prohibited. Furthermore, if you have received this e-mail in error, please notify the sender immediately and delete the original email and all copies. M3 Insurance Solutions, Inc. and its affiliates (collectively "M3") cannot honor any request to bind insurance coverage or report claims via e-mail. This email together with any attachments may contain information that is for insurance and risk management advisory purposes only and under no circumstances should be construed as legal advice or a legal opinion. Formal legal advice should be sought from an attorney on legal matters. Any descriptions of insurance coverage herein or attached are for summary purposes only. Please refer to your insurance policies for actual coverage information.

---

**PLEASE NOTE:** Visit M3's website to view our complete [privacy policy](#).

This email and any attachments are for the sole use of the intended recipient(s). If you are not the addressee, note that any disclosure, copying, distribution, or use of the contents of this message is prohibited. Furthermore, if you have received this e-mail in error, please notify the sender immediately and delete the original email and all copies. M3 Insurance Solutions, Inc. and its affiliates (collectively "M3") cannot honor any request to bind insurance coverage or report claims via e-mail. This email together with any attachments may contain information that is for insurance and risk management advisory purposes only and under no circumstances should be construed as legal advice or a legal opinion. Formal legal advice should be sought from an attorney on legal matters. Any descriptions of insurance coverage herein or attached are for summary purposes only. Please refer to your insurance policies for actual coverage information.







2/19/2024

Village of Random Lake  
P.O. Box 344  
Random Lake, WI 53075-034  
[clerk@randomlakewi.com](mailto:clerk@randomlakewi.com)

It is our intent to provide you with complete information as to the activity conducted by our officers while on Village of Random Lake contract patrol duty. Our hope is that it will be informative and transparent for you.

The Village of Random Lake contracts with the Sheboygan County Sheriff's Office for 84 hours of service per month. During January 2024, 92.25 hours of contract were completed. There were 20 complaints generated. Within those complaints; 12 Written Warnings, 2 Winter Parking Citations, 3 Traffic Citations, 1 Misdemeanor charges, 0 Felony Arrest, 0 Warrant Arrest, 0 Juvenile Referrals, 0 Property Damage Accidents and 2 open doors were found. The following is a summary of the complaints for **January 2024:**

<u>Date Time</u>	<u>Complaint # Nature of Call</u>	<u>Location</u>	<u>Result</u>
<u>01/01/24 2330</u>	S24-00046 Open Door	Random Lake School District	Door W-3 located unlocked. School checked and secured. The door is able to be secured but is left open on a regular basis.
<u>1/2/24 0540</u>	S24-00054 Traffic Stop	Grand Ave at S. Spring St.	Written warning for defective headlamp
<u>1/3/24 1650</u>	S24-00156 Parking	Carroll St at W. Lake St.	Contact was made and vehicle was moved. Anonymous complaint in regard to a vehicle parked too close to a yellow painted curb.
<u>1/3/24 1710</u>	S24-00157 Abandoned Vehicle	228 Carroll St.	No action taken. Vehicle had a valid registration.
<u>1/4/24 2250</u>	S24-00173 Open Door	Random Lake School District	Door W-3 located unlocked. Made contact with cleaning staff inside. Building cleared and door secured.
<u>1/5/24 0407</u>	S24-00226 Traffic Stop	Sth-144 at Sth-57	Citation issued for operating without insurance and verbal warning given for defective head lamp
<u>1/5/24 1125</u>	S24-00247 Traffic Stop	Butler St at Hickory Drive	Written warning issued for failure to stop at stop sign
<u>1/6/24 1047</u>	S24-00239 Follow-up	790 Wolf Road Mini Mart	Follow-up to a theft from a previous incident. More follow-up to come.
<u>1/8/24 1922</u>	S24-00408 Traffic Stop	Butler St. at Hickory Dr	Written warning for illegible license plate
<u>1/8/24 2042</u>	S24-00411 Traffic Stop	Butler St at 2 <sup>nd</sup> St.	Written warning for defective head lamp
<u>1/13/24 0720</u>	S24-00718 EMS	305 S. Spring St.	Assisted EMS
<u>1/15/24 1700</u>	S24-00852 Injury Crash	Sth-57 at CR-RR	Driver entered 57 S/B from RR w/b and was struck by a N/B vehicle on 57. S/B driver was transported via flight for lift.

			Receiving citation for Criminal Operating after Revocation and failure to yield from stop sign.
<u>1/17/24</u> <u>1930</u>	S24-00958 Traffic Stop	N. Spring St at Sth-144	Written warning issued for defective tail lamp and illegible registration
<u>1/18/24</u> <u>1530</u>	S24-00997 Assist Motorist	Wolf Rd at N. Spring St.	Dispatched to vehicle stuck in a snowbank. Vehicle removed by DPW employee.
<u>1/19/24</u> <u>1020</u>	S24-01033 Welfare Check	219 Allen St.	Checking on father for the son a distance away. Father was ill and sleeping but was fine.
<u>1/19/24</u> <u>1741</u>	S24-01062 Traffic Stop	Russell Dr at Hickory Dr	Verbal warning issued for illegible license plate
<u>1/20/24</u> <u>1450</u>	S24-01090 Traffic Stop	Orth Dr at Woodland Dr	Citation issued for operating while suspended and written warning for expired registration.
<u>1/22/24</u> <u>0336</u>	S24-01139 Parking	215 Carroll St.	Winter parking, citation 6717
<u>1/23/24</u> <u>0410</u>	S24-01190 Parking	3 <sup>rd</sup> and Butler St	Winter parking, citation 6696
<u>1/26/24</u> <u>1135</u>	S24-01364 Traffic Stop	Random Lake Rd and Wolf Rd	Written warning for speeding, failure to carry license, failure to update address with DMV

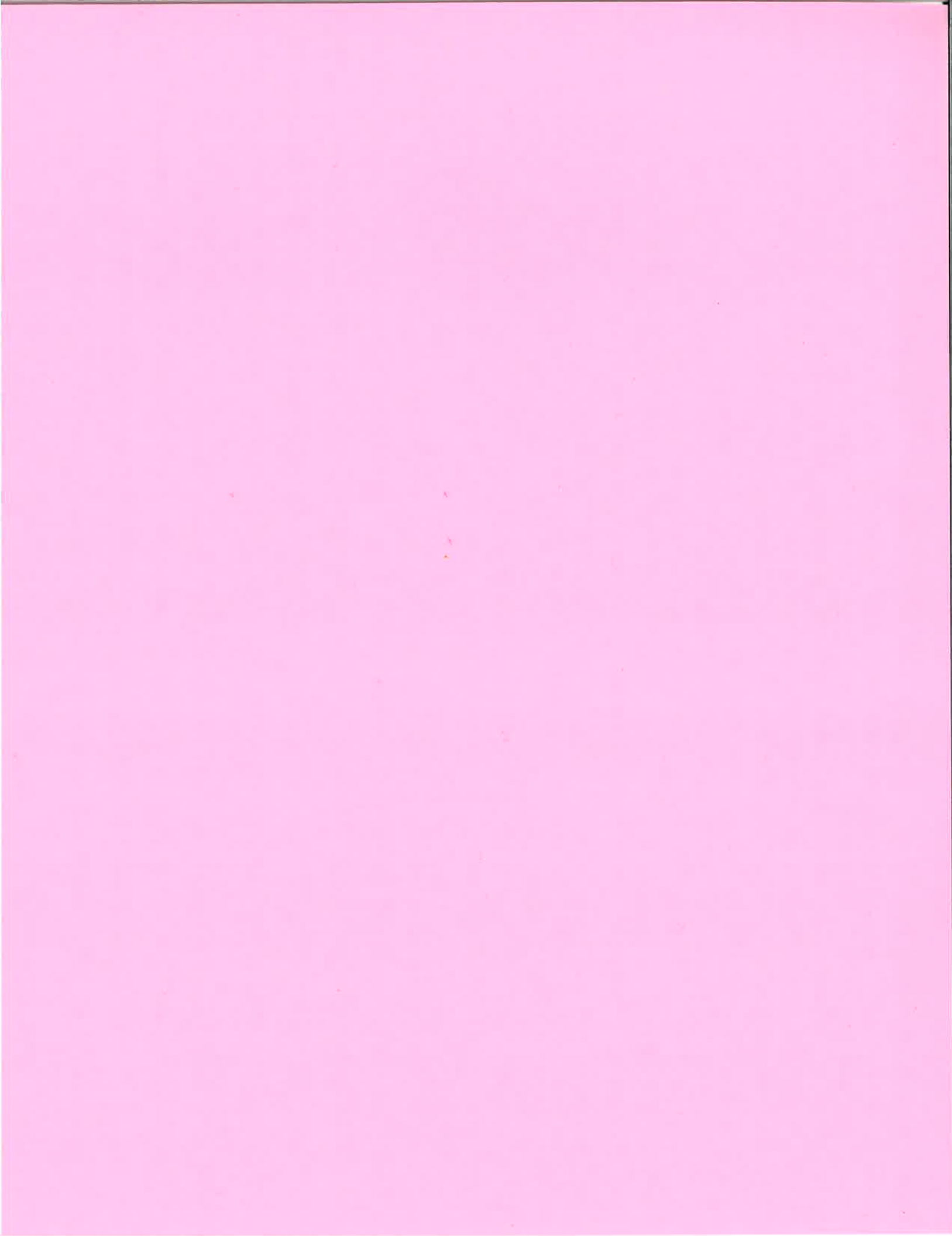
Please feel free to contact me with any questions or concerns you might have.

The school district was contacted regarding the frequency of the open door by Lt. Blodgett on 2/16/24 hoping for a resolution.

Sergeant Tim McNeil 238  
 Sheboygan Sheriff's Office Patrol Division  
 Shift Commanders Desk (920) 459-3114  
 Timothy.McNeil@sheboygancounty.com



Professionalism /Respect / Integrity /Dedication / Employee Value





Village Board Meeting  
Monday, February 19, 2024  
6:30 pm

LOCATION OF MEETING: 96 RUSSELL DRIVE

## Meeting Minutes

- 1. Call to Order, Roll Call:** Clerk/Treasurer Waala called the village board meeting to order at 6:30 pm. Board members present included Eric Stowell, Elizabeth Manian, Duane Urbanski, and Jeff Schultz. Keri Wallenkamp attended virtually. Village staff member present included Building Inspector Roger Kison, Clerk/Treasurer Stephanie Waala, Community Resource Officer Stephen Cobb, and Department of Public Works Director Peter Lederer. For additional attendees, please see sign in sheet.

Trustee Wallenkamp made a motion to appoint Trustee Urbanski as acting President for the meeting, motion was seconded by Trustee Stowell. Motion carried 4-0, Trustee Urbanski abstained.

### 2. Pledge of Allegiance

### 3. New Business:

- a. Discussion and Possible Action on the Recommendation of the Architectural Review Board on the residential addition at 41 E Shore Dr.**

No discussion

- b. Discussion and Possible Action on the Recommendation of the Architectural Review Board on the construction of a residential new two-family home at 515/517 Raybern Ct.**

No discussion

- c. Discussion and Possible Action on the Recommendation of the Architectural Review Board on the construction of a residential new two-family home at 540/542 Raybern Ct.**

No discussion

- d. Discussion and Possible Action on the Recommendation of the Architectural Review Board on the construction of a residential new single-family home at Lot 7 E Shore Dr.**

No discussion

- e. Discussion and Possible Action on the recommendation of the building inspector related to Ordinance 2024-01.**



Inspector Kison informed the board that this is a formality to get the villages delegation of authority through the state for commercial inspections. The code was not up to date and needed to be changed as well as this relates to his duties and the codes to be submitted to the state.

President Urbanski asked for clarification on Section 2, the last sentence, should “In the” should be deleted. Inspector Kison informed the board that that is correct, and it should be deleted.

Trustee Schultz asked for clarification on Section 4(b)(1)(b), what is to happen when someone does not meet or exceeds the minimum, maximum qualifications. Inspector Kison informed the board that if they would then then would go to the state for approval.

Blaine Werner asked for clarification on the smoke detector section. If the Fire Dept removes a battery from smoke detector, how will the fire dept contact the resident? Chief Depies informed the board that if they were to remove a battery or smoke detector, their policy would be to replace it at the same time.

Trustee Stowell made a motion to approve with change to section 2, motion was seconded by Trustee Manian. Motion carried 5-0.

**f. Discussion and Possible Action on the request of Gene Kelly, 725 N Spring St Apt 205, related to two parking citations.**

Gene Kelly informed the board that he has lived here since 2017. In December he went to the village hall and was informed that the snow parking restrictions were lifted. Since then, he has received two tickets for parking overnight. He did not know they were reinstated as he does not have a tv or smartphone. Can something be posted at the library of when ordinances change as he additionally does not receive newsletters because he rents.

President Urbanski inquired as to when was the snow ordinance enacted. Director Lederer informed the board that notice was given on January 7<sup>th</sup>, additionally residents were given 2 nights of warnings and then tickets would be issued.

Mr. Kelly informed the board that his prior residence had a public parking lot to park in so he had never received tickets before. Trustee Stowell inquired as to if there is a parking lot not at the current residence. Mr. Kelly informed the board that there were, but trucks were moving in and out those dates so was unsure as to why he parked on the street. The first ticket did not specify what the ticket was for, so he did not know the parking restrictions were in place. Trustee Stowell informed the board that on the ticket is show under the type of Offense that “snow ordinance” is checked. Trustee Wallenkamp informed the board that she can see waiving the first ticket, but it is their due diligence to have called to see what it was originally for if it was unclear.

Trustee Wallenkamp made a motion to waive citation #6521, motion was seconded by Trustee Stowell. Motion carried 5-0.

**g. Discussion and Possible Action on the request of Bertram Communications to submit flyer for inclusion with monthly utility billing.**

Clerk Waala informed the board that she received an email from Sarah at Bertram informing her that she had spoken to Mike about putting this item on the agenda.

No further discussion as no representative from Bertram was present.

**h. Discussion and Possible Action on the request of the Random Lake School District related to school parking.**

Officer Cobb informed the board that with the referendum project starting in a few weeks the parking lot will become unusable as of March 4<sup>th</sup>. Two hundred and twenty-five cars park there daily that can park elsewhere. The elementary school drop off will be moved to the west side of the building by adding a temporary driveway. Additional parking is being requested on the southbound lane of Random Lake Rd, which currently has no parking and according to state statute they would need a change from the village to allow temporary parking.

President Urbanski inquired as if there would be an issue for fire safety if there were parking on both sides of Random Lake Rd. Parking near entrances of driveways may still need to be restricted to get fire trucks through and can they do a dry run.

Trustee Wallenkamp inquired as to if there was a drawing to show these changes. Officer Cobb informed the board that he will get a better map showing the road width as well as meet with the fire dept. Will provide better drawings and will re-present at the March 4<sup>th</sup> meeting.

Trustee Wallenkamp inquired as to what the DPW would need for this. Director Lederer informed the board that they would just need to bag the no parking signs and get some yellow paint to mark the road.

Officer Cobb informed the board that this parking issue will be for about 6-7 months. Chief Depies informed the board that the parking lot being closed will hinder their annual parade and will now need to be staged on both sides of Random Lake Rd.

**i. Discussion and Possible Action on the recommendation of the building inspector related to fee schedule updates.**

Clerk Waala informed the board that after hiring Roger Kison on January 1<sup>st</sup>, new permits were created and with those fees needed to be updated. Staci Schluechtermann inquired as to why does the commercial have a final inspection fee, but the residential does not. Inspector Kison informed the board that residential would not have a final inspection fee as it is labeled as occupancy fee.

Trustee Stowell made a motion to approve as submitted, motion was seconded by Trustee Wallenkamp. Motion carried 5-0.

**j. Discussion and Possible Action related to Community Volunteering.**

President Urbanski informed the board that there was discussion after the snow fall about talking about helping your neighbors. They are looking to get approval to send out the letter with the next utility billing, to find volunteers.

Blaine Werner inquired as to would the village run into the same issue they are running into with the village snack shack and would the village be liable for insurance reasons. Clerk Waala informed the board that the village would not need to provide insurance as this would be happening on private properties.

Trustee Wallenkamp would additionally like to see a database of residents that need help.

Trustee Wallenkamp made a motion to approve submission along with next utility billing, motion was seconded by Trustee Stowell. Motion carried 5-0.

#### **4. Public Comments on non-agenda items (limit 3 minutes per speaker)**

Inspector Kison inquired as to will the projects not seen today at the ARC meeting still need village board approval. Clerk Waala informed the board that yes, they would and would be put on the March 5<sup>th</sup> agenda. Until that date though, if approved by the ARC board they can be given early start permits.

#### **5. Consent Agenda – items within the consent agenda can be considered individually if the Village Board chooses to do so:**

- a. January 31, 2024, General Checks
- b. January 31, 2024, Fire/Ambulance Checks
- c. February 5, 2024, Meeting Minutes
- d. February 2024 Village Newsletter
- e. February 8, 2024, Payroll Report
- f. February 13, 2024, General Checks
- g. February 20, 2024, General Checks
- h. February 20, 2024, Utility Checks
- i. February 20, 2024, Fire/Ambulance Checks

Trustee Stowell made a motion to approve as submitted, motion was seconded by Trustee Manian. Motion carried 5-0.

#### **6. Staff and committee reports:**

- a. Clerk/Treasurer: written report submitted
- b. Public Works: hauled mulch out of recycling center and is looking to get more blocks to create separate yard waste and mulch section. Repair on one plow truck auger as it was deteriorating from salt. Was able to get parts prior to last snow. Plowed last Thursday. Pumped water out of the ice rink due to excess snow melting. Cleaned and worked on things at shop when allowable. Radio and meter problems corrected that were found after the last meter read. Cleaned chlorine tanks at wells. Setup piping system at WWTP on hyper ion tanks that become stagnant after sitting too long. This will start to oscillate and help keep the tanks clean. Hanging baskets have been sent to honeymoon acres for planting. Fans on furnace at WWTP have gone out due to corrosion, this is being worked on. DND is hoping to retrofit some light fixtures and will be coming this week to see if they will work. Roof repair may start end of this week, early next week. Several pumps went out that have been replaced due to age. Cleaned sidewalks in the village due to complaints, fourteen homes were done. Coming up projects include compressor down at the well house. Sticking valves at the lift station and is getting quotes to get by until complete replacement potentially next year. Working on piers to include remounting bumpers and fixing structural repairs caused by damage last year. Will be getting equipment ready for auction. Weather permitting clean out of sludge building. All other work is dependent on weather. Did sewer jetting

on Western Ave, will need to do more frequently due to tree root problems, is looking into service to remove them. Going through sanitary sewer reports and speaking with Mustafa about road projects in the future. Working on lead service line survey when time permits. Trustee Wallenkamp inquired as to if there was a communication plan set up when going to do jetting. Director Lederer informed the board that currently there is not and will look into the future informing residents affected. Trustee Manian inquired as to trees being removed by people and can they do that. Director Lederer informed the board that he does not require residents to remove trees unless they are dead.

- c. Committees: Lake, Parks, and Recreation is meeting on Monday the 26<sup>th</sup> at 4pm; Public Works and Personnel met on 2/8 and met with all employees. Will be working on a snow emergency plan.
- d. Fire Department: written report submitted
- e. President: none

**7. Consider and Act by Roll Call Vote to Enter into Closed Session for the following:**

- a. Considering employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility.

Trustee Stowell made a motion to move into closed session at 7:49 pm, motion was seconded by Trustee Schultz. Motion carried 5-0.

**8. Reconvene to Open Session Pursuant to SS. 19.85(2)**

Trustee Wallenkamp made a motion to move into open session at 7:57 pm, motion was seconded by Trustee Stowell. Motion carried 5-0.

**9. Discussion and Possible Action on closed session item**

Trustee Wallenkamp made a motion to approve payment to Kewaskum Dentistry for \$11.12 for interest charged, additionally to then request reimbursement from Aflac, motion as seconded by Trustee Stowell. Motion carried 5-0.

**10. Adjourned at 7:58 pm.**

*Items on the Agenda may be taken out of order as listed. Created by Stephanie Waala on 02/21/2024.*

*WI Open Meeting Law (Wis. Stat. 19.83(2) and 19.84(2)) In general, the open meetings law grants citizens the right to attend and observe open session meetings of governmental bodies but does not require a governmental body to allow members of the public to speak or actively participate in the body's meeting. A governmental body is free to determine for itself whether and to what extent it will allow citizen participation at its meetings.*





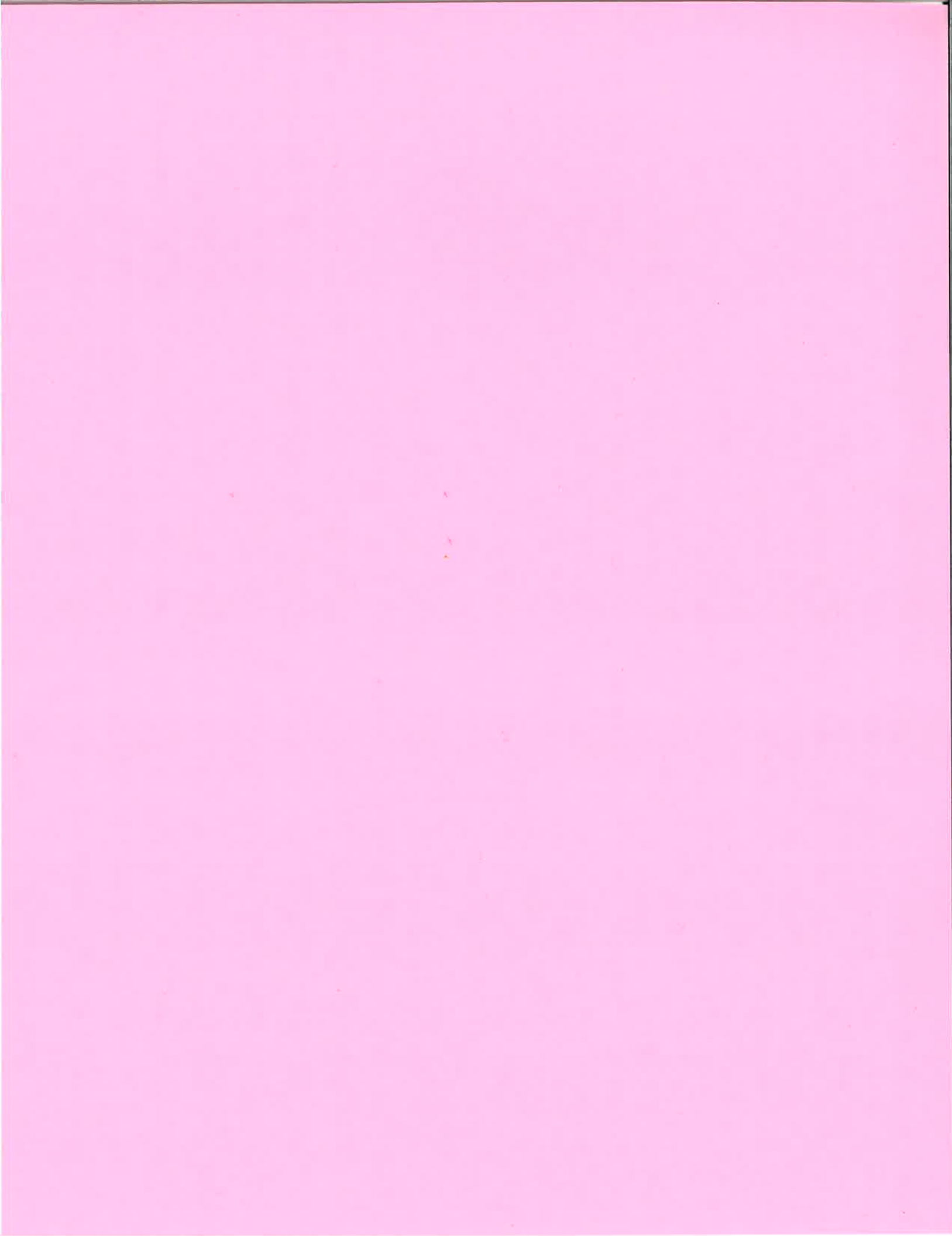
2/29/2024 1:57 PM  
PAYRL

Employee Summary Earnings Report  
All Employees with All Pay Frequencies

Page: 1

Check Date From: 2/22/2024 From Dept:  
Thru: 2/22/2024 Thru Dept:

Name	Regular	Overtime	Shift	Other	Total
BULEBOSH, NANETTE	510.00	0.00	0.00	0.00	510.00
COBB, STEPHEN	981.10	0.00	0.00	0.00	981.10
COENEN, LYNN	60.80	0.00	0.00	0.00	60.80
DAHM, JERIOD N	1,854.40	191.24	0.00	0.00	2,045.64
DOLENCE, DEAN	1,201.50	0.00	0.00	0.00	1,201.50
HORNING, ELISABETH	87.45	0.00	0.00	0.00	87.45
JAYCOX, CARISSA M	1,903.20	89.23	0.00	0.00	1,992.43
LAUMANN, RAEGAN M	97.24	0.00	0.00	0.00	97.24
LEDERER, PETER	3,058.41	0.00	0.00	0.00	3,058.41
LOCKLAIR, DANIEL R	393.08	0.00	0.00	0.00	393.08
MARTIN, SUZANNE	227.04	0.00	0.00	0.00	227.04
SIEGEL, TYLER C	2,247.21	316.06	0.00	0.00	2,563.27
SINGER, WILLIAM	2,314.00	0.00	0.00	0.00	2,314.00
SULLIVAN, CAMRIN R	2,095.12	0.00	0.00	0.00	2,095.12
TREMBLAY, KAYLEE M	119.00	0.00	0.00	0.00	119.00
WAALA, STEPHANIE S	2,829.49	0.00	0.00	0.00	2,829.49
WEGNER, MILES C	1,680.00	157.50	0.00	0.00	1,837.50
WILL, KATRINA A	498.75	0.00	0.00	0.00	498.75
WILLIAMSON, JACOB N	1,994.72	0.00	0.00	0.00	1,994.72
WROBLEWSKI, ELIZABETH	496.20	0.00	0.00	0.00	496.20
Totals:	24,648.71	754.03	0.00	0.00	25,402.74



3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 1

ALL Checks by Payee

ACCT

2822 GENERAL FUND

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
3/05/2024 ARCHER MAT RENTAL & SALES LLC			
2/13/24 INVOICE			
100-00-51600-230-000		VILLAGE HALL - S.M.R.E	4.70
		1-3X5 BLACK MINK 39431	
100-00-51600-230-000		VILLAGE HALL - S.M.R.E	18.74
		2-3X10 BLACK MINK 39431	
Total			23.44
3/05/2024 ARCHER MAT RENTAL & SALES LLC			
2/27/24 INVOICE			
100-00-51600-230-000		VILLAGE HALL - S.M.R.E	4.70
		1-3X5 BLACK MINK 39523	
100-00-51600-230-000		VILLAGE HALL - S.M.R.E	18.74
		2-3X10 BLACK MINK 39523	
Total			23.44
3/05/2024 Aurora Health Care			
2/4/24 STATEMENT			
100-00-53100-136-000		EAP/DOT DRUG PROGRAM	114.00
		DAHM, SIEGEL, WILLIAMSON DOT DRUG SCREEN 1590341	
Total			114.00
3/05/2024 Bellin Health			
2/6/24 INVOICE			
100-00-53100-136-000		EAP/DOT DRUG PROGRAM	60.00
		2024 ADMINISTRATIVE FEE 14032925	
Total			60.00
3/05/2024 CANON FINANCIAL SERVICES INC			
2/10/24 INVOICE			
100-00-51420-390-000		CLERKS OFFICE-SUPPLIES/EXP	131.66
		COPIER CONTRACT 32045447	
Total			131.66
3/05/2024 Casey's Business Mastercard			
2/16/24 STATEMENT			
100-00-53240-391-000		GAS & OIL (60%)	92.12
		1/18/24 LOADER 371969	
100-00-53240-391-000		GAS & OIL (60%)	21.70
		1/18/24 TANDUM DUMP 371972	



3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 2

ALL Checks by Payee

ACCT

2822 GENERAL FUND

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
100-00-53240-391-000		GAS & OIL (60%)	90.34
	1/18/24	TANDEM	371976
100-00-53240-391-000		GAS & OIL (60%)	72.63
	1/23/24	TANDUM-FREDONIA LOCATION	349883
100-00-53240-391-000		GAS & OIL (60%)	125.92
	1/24/24	LOADER & SKID	381527
100-00-53240-391-000		GAS & OIL (60%)	97.80
	2/1/24	LOADER	328973
100-00-53240-391-000		GAS & OIL (60%)	-12.27
		REBATE	40350826
<b>Total</b>			<b>488.24</b>
<hr/>			
	3/05/2024	CLARK DIETZ	
	2/7/24	INVOICE	
100-00-53300-218-000		ENGINEERING	666.66
		VILLAGE ENGINEERING	440218
<b>Total</b>			<b>666.66</b>
<hr/>			
	3/05/2024	CLIFTONLARSONALLEN LLP	
	2/13/24	INVOICE	
100-00-51510-210-000		ACCOUNTING-PROF SERVICES	2,331.00
		2023 AUDIT	L241068072
<b>Total</b>			<b>2,331.00</b>
<hr/>			
	3/05/2024	MUNICIPAL LAW & LITIGATION GROUP S.C.	
	2/19/24	STATEMENT	
100-00-51300-210-000		LEGAL-PROFESSIONAL SERVICES	821.40
		VILLAGE LEGAL	11564
<b>Total</b>			<b>821.40</b>
<hr/>			
	3/05/2024	NAPA AUTO PARTS	
	2/14/24	INVOICE	
100-00-53240-350-000		EQUIPMENT/STREET MACH-S,M,R,E	7.37
		TRAILER SIGNAL LENS, FUEL LINE HOSE	797924
<b>Total</b>			<b>7.37</b>
<hr/>			
	3/05/2024	Peter Lederer	
	2/18/24	INVOICE	
100-00-53100-137-000		DUES/MEMBERSHIPS	100.00
		NORTH SHORE PUBLIC WORKS ASSOC DUES	2/19/24

3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 3

ALL Checks by Payee

ACCT

2822 GENERAL FUND

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<b>Total</b>			100.00
<hr/>			
3/05/2024		UNIFIRST CORPORATION	
2/13/24 INVOICE			
100-00-53100-325-000		UNIFORMS	20.97
		UNIFORMS	1470032827
<b>Total</b>			20.97
<hr/>			
3/05/2024		UNIFIRST CORPORATION	
2/20/24 INVOICE			
100-00-53100-325-000		UNIFORMS	20.97
		UNIFORMS	1470033851
<b>Total</b>			20.97
<hr/>			
3/05/2024		UNIFIRST CORPORATION	
2/27/24 INVOICE			
100-00-53100-325-000		UNIFORMS	20.97
		UNIFORMS	1470034928
<b>Total</b>			20.97
<hr/>			
3/05/2024		US CELLULAR	
2/8/24 INVOICE			
100-00-53101-390-000		CELL PHONE-DPW	12.67
		DPW CELL	0634053727
100-00-53101-390-000		CELL PHONE-DPW	5.52
		EMERGENCY CELL PHONES	0634053727
<b>Total</b>			18.19
<hr/>			
3/05/2024		WEX BANK	
2/23/24 INVOICE			
100-00-53240-391-000		GAS & OIL (60%)	42.04
		1/24/24 FORD PICKUP	29116
100-00-53240-391-000		GAS & OIL (60%)	16.39
		1/25/24 KABOTA	29274
100-00-53240-391-000		GAS & OIL (60%)	28.76
		1/26/24 SKID LOADER	29459
100-00-53240-391-000		GAS & OIL (60%)	85.10
		1/30/24 TANDUM	30011
100-00-53240-391-000		GAS & OIL (60%)	44.55
		2/2/24 FORD PICKUP	30469

3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 4

ALL Checks by Payee

ACCT

2822 GENERAL FUND

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
100-00-53240-391-000		GAS & OIL (60%)	45.71
	2/5/24	RED TRUCK	30884
100-00-53240-391-000		GAS & OIL (60%)	28.81
	2/7/24	GRAY TRUCK	31176
100-00-53240-391-000		GAS & OIL (60%)	60.61
	2/9/24	TANDUM	31511
100-00-53240-391-000		GAS & OIL (60%)	36.12
	2/12/24	FORD PICKUP	31879
100-00-53240-391-000		GAS & OIL (60%)	88.51
	2/13/24	TANDUM	32030
100-00-53240-391-000		GAS & OIL (60%)	54.52
	2/22/24	RED TRUCK	33234
100-00-53240-391-000		GAS & OIL (60%)	-34.14
		REBATE	2/23/24
100-00-53240-391-000		GAS & OIL (60%)	12.11
	1/23/24	TANDUM	28976
100-00-53240-391-000		GAS & OIL (60%)	6.28
	1/29/24	TRASH PUMP	29841
100-00-53240-391-000		GAS & OIL (60%)	20.59
	1/30/24	SKID LOADER	29995
100-00-53240-391-000		GAS & OIL (60%)	8.46
	2/12/24	TRASH PUMP	31841
100-00-53240-391-000		GAS & OIL (60%)	26.55
	2/15/24	SKID LOADER	32254
100-00-53240-391-000		GAS & OIL (60%)	47.73
	2/22/24	FORD PICKUP	33265
100-00-53240-391-000		GAS & OIL (60%)	-8.14
		REBATE	2/23/24
<b>Total</b>			<b>610.56</b>
<hr/>			
		3/05/2024 WISCONSIN DEPARTMENT OF REVENUE-	
		2/21/24 INVOICE	
100-00-51420-321-000		DUES/MEMBERSHIPS	10.00
		BUSINESS TAX REGISTRATION RENEWAL	2/21/24
<b>Total</b>			<b>10.00</b>
<hr/>			
<b>Grand Total</b>			<b>5,468.87</b>

3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 5

ALL Checks by Payee

ACCT

2822 GENERAL FUND

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Amount

---

Total Expenditure from Fund # 100 - GENERAL FUND

5,468.87

Total Expenditure from all Funds

5,468.87





3/01/2024 7:55 AM

In Progress Checks - Full Report - ALL

Page: 1

ALL Checks by Payee

ACCT

3580 FIRE/AMBULANCE CHECKING

Dated From: 3/05/2024 From Account:

Thru: 3/05/2024 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<hr/>			
	3/05/2024	ALEX AIR APPARATUS INC	
	2/21/24 INVOICE		
700-00-52690-014-000		TURNOUT	3,615.00
		HELMETS	
		INV-49404	
		<b>Total</b>	<b>3,615.00</b>
<hr/>			
	3/05/2024	FRANK'S RADIO SERVICE INC	
	2/22/24 INVOICE		
700-00-52620-002-000		NEW PAGER RADIOS	201.46
		REPROGRAM PAGER, BATTERY, CHARGER	
		124875	
		<b>Total</b>	<b>201.46</b>
<hr/>			
	3/05/2024	MBM	
	2/20/24 INVOICE		
700-00-52640-003-000		COPY MACHINE	48.56
		COPIER	
		IN5044393	
		<b>Total</b>	<b>48.56</b>
<hr/>			
	3/05/2024	TRUSTEES OF THE RANDOM LAKE	
	2/28/24 INVOICE		
700-00-52660-007-000		TRAINING	140.00
		WSFA 2024 CONVENTION P. JACOBY	
		<b>Total</b>	<b>140.00</b>
<hr/>			
		<b>Grand Total</b>	<b>4,005.02</b>

3/01/2024 7:55 AM

In Progress Checks - Full Report - ALL

Page: 2

ALL Checks by Payee

ACCT

3580 FIRE/AMBULANCE CHECKING

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Amount

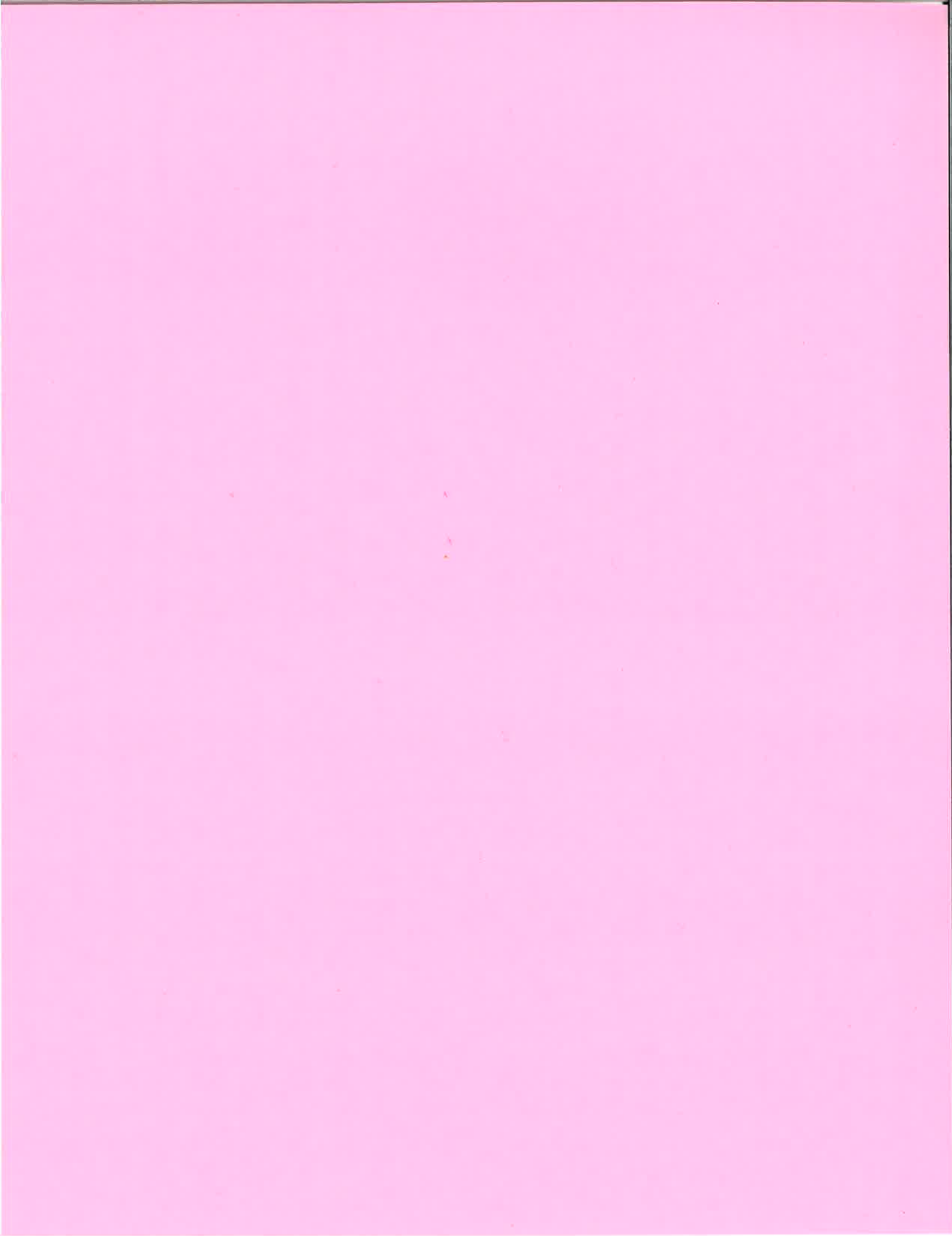
---

Total Expenditure from Fund # 700 - AMBULANCE FUND

4,005.02

Total Expenditure from all Funds

4,005.02





3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 1

ALL Checks by Payee  
3655 UTILITY CHECKING

ACCT

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
3/05/2024		CANON FINANCIAL SERVICES INC	
2/10/24 INVOICE			
600-00-51420-390-000		OFFICE SUPPLIES/EXP	131.67
		COPIER CONTRACT	32045447
660-00-51420-390-000		OFFICE SUPPLIES/EXPENSES	131.67
		COPIER CONTRACT	32045447
Total			263.34
3/05/2024		Casey's Business Mastercard	
2/16/24 STATEMENT			
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	30.71
		1/18/24 LOADER	371969
660-00-54615-391-000		VEHICLES-GAS 20%	30.70
		1/18/24 LOADER	371969
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	7.24
		1/18/24 TANDUM DUMP	371972
660-00-54615-391-000		VEHICLES-GAS 20%	7.24
		1/18/24 TANDUM DUMP	371972
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	30.12
		1/18/24 TANDUM	371976
660-00-54615-391-000		VEHICLES-GAS 20%	30.11
		1/18/24 TANDUM	371976
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	24.21
		1/23/24 TANDUM FREDONIA LOCATION	349883
660-00-54615-391-000		VEHICLES-GAS 20%	24.21
		1/23/24 TANDUM FREDONIA LOCATION	349883
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	41.97
		1/24/24 LOADER & SKID	381527
660-00-54615-391-000		VEHICLES-GAS 20%	41.97
		1/24/24 LOADER & SKID	381527
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	32.60
		2/1/24 LOADER	328973
660-00-54615-391-000		VEHICLES-GAS 20%	32.60
		2/1/24 LOADER	328973
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	-4.09
		REBATE	40350826
660-00-54615-391-000		VEHICLES-GAS 20%	-4.09
		REBATE	40350826

3/01/2024 8:24 AM

In Progress Checks - Full Report - ALL

Page: 2

ALL Checks by Payee  
3655 UTILITY CHECKING

ACCT

Dated From: 3/05/2024 From Account:  
Thru: 3/05/2024 Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<b>Total</b>			325.50
<hr/>			
3/05/2024 CHEMTRADE CHEMICALS US LLC			
2/15/24 INVOICE			
660-00-54610-396-000		TEST LAB-CHEMICALS	12,503.80
		HYPER+ION 90079304	
<b>Total</b>			12,503.80
<hr/>			
3/05/2024 CLARK DIETZ			
2/7/24 INVOICE			
660-00-57400-200-000		CONTRACTED SERVICES	3,832.00
		EAST SIDE LIFT STATION 440141	
<b>Total</b>			3,832.00
<hr/>			
3/05/2024 CLARK DIETZ			
2/7/24 INVOICE			
660-00-57400-200-000		CONTRACTED SERVICES	6,800.00
		WWTP FACILITY PLAN UPDATE 440224	
<b>Total</b>			6,800.00
<hr/>			
3/05/2024 CLARK DIETZ			
2/7/24 INVOICE			
600-00-53300-218-000		ENGINEERING	666.67
		VILLAGE ENGINEERING 440218	
660-00-53300-218-000		ENGINEERING	666.67
		VILLAGE ENGINEERING 440218	
<b>Total</b>			1,333.34
<hr/>			
3/05/2024 CLIFTONLARSONALLEN LLP			
2/13/24 INVOICE			
600-00-51510-210-000		ACCOUNTING/AUDIT	777.00
		2023 AUDIT L241068072	
660-00-51510-210-000		ACCOUNTING/AUDIT	777.00
		2023 AUDIT L241068072	
<b>Total</b>			1,554.00
<hr/>			
3/05/2024 CORE & MAIN LP			
2/15/24 INVOICE			
600-00-54630-390-000		METERS-SUPPLIES/EXP	907.94
		2/15/24 INVOICE U160081	

3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 3

ALL Checks by Payee  
3655 UTILITY CHECKING

ACCT

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<b>Total</b>			<b>907.94</b>
<hr/>			
3/05/2024 CORE & MAIN LP			
2/15/24 INVOICE			
600-00-54630-390-000		METERS-SUPPLIES/EXP	500.00
		TOUCHPAD BLACK U386935	
600-00-54630-390-000		METERS-SUPPLIES/EXP	21.25
		FREIGHT CHARGE U386935	
<b>Total</b>			<b>521.25</b>
<hr/>			
3/05/2024 D n D Electric, LLC			
2/22/24 INVOICE			
660-00-57400-200-000		CONTRACTED SERVICES	3,423.00
		25% DOWN LIGHTS FOR TREATMENT PLANT 6962	
<b>Total</b>			<b>3,423.00</b>
<hr/>			
3/05/2024 FRONTIER COMMUNICATIONS			
2/21/24 INVOICE			
660-00-54600-221-000		WWTP - TELEPHONE/INTERNET	94.61
		WWTP PHONE 2/21/24	
<b>Total</b>			<b>94.61</b>
<hr/>			
3/05/2024 HAWKINS INC			
2/15/24 INVOICE			
660-00-54600-390-000		WWTP - S,M,R,E	10.00
		CHLORINE CYLINDER 6689472	
<b>Total</b>			<b>10.00</b>
<hr/>			
3/05/2024 MARTELLE WATER TREATMENT			
2/19/24 INVOICE			
600-00-54600-999-000		CHEMICALS FOR TREATMENT	2,193.96
		SODIUM HYPOCHLORITE 26631	
<b>Total</b>			<b>2,193.96</b>
<hr/>			
3/05/2024 NAPA AUTO PARTS			
2/27/24 INVOICE			
660-00-54600-230-000		WWTP LIFT STATION-S,M,R,E	11.49
		RTV SILICONE 798459	
<b>Total</b>			<b>11.49</b>

3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 4

ALL Checks by Payee  
3655 UTILITY CHECKING

ACCT

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
<hr/>			
	3/05/2024	Sabel Mechanical LLC	
	2/8/24 INVOICE		
660-00-54600-390-000		WWTP - S,M,R,E	8,005.17
		WWTP SUMMIT PUMP MODEL 21996STO 240079	
		Total	8,005.17
<hr/>			
	3/05/2024	Sabel Mechanical LLC	
	2/13/24 INVOICE		
660-00-54600-390-000		WWTP - S,M,R,E	2,821.90
		WWTP LABOR REPLACE PUMP, MOTOR & BASE 240085	
		Total	2,821.90
<hr/>			
	3/05/2024	UNIFIRST CORPORATION	
	2/13/24 INVOICE		
600-00-53660-392-000		UNIFORMS	20.96
		UNIFORMS 1470032827	
660-00-53660-392-000		UNIFORMS	20.96
		UNIFORMS 1470032827	
		Total	41.92
<hr/>			
	3/05/2024	UNIFIRST CORPORATION	
	2/20/24 INVOICE		
600-00-53660-392-000		UNIFORMS	20.96
		UNIFORMS 1470033851	
660-00-53660-392-000		UNIFORMS	20.96
		UNIFORMS 1470033851	
		Total	41.92
<hr/>			
	3/05/2024	UNIFIRST CORPORATION	
	UNIFORMS		
600-00-53660-392-000		UNIFORMS	20.96
		UNIFORMS 1470034928	
660-00-53660-392-000		UNIFORMS	20.96
		UNIFORMS 1470034928	
		Total	41.92
<hr/>			
	3/05/2024	US CELLULAR	
	2/8/24 INVOICE		
600-00-54600-221-000		PLANT - TELEPHONE	12.67
		DPW CELL 0634053727	



3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 5

ALL Checks by Payee  
3655 UTILITY CHECKING

ACCT

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
600-00-54600-221-000		PLANT - TELEPHONE	5.52
		EMERGENCY CELL PHONES	0634053727
660-00-54600-221-000		WWTP - TELEPHONE/INTERNET	12.66
		DPW CELL	0634053727
660-00-54600-221-000		WWTP - TELEPHONE/INTERNET	5.53
		EMERGENCY CELL PHONES	0634053727
<b>Total</b>			<b>36.38</b>

3/05/2024 WE ENERGIES

2/26/24 INVOICE

660-00-54600-230-000		WWTP LIFT STATION-S,M,R,E	131.04
		W5170 COUNTY RD K	4931193219
<b>Total</b>			<b>131.04</b>

3/05/2024 WEX BANK

2/23/24 INVOICE

600-00-54615-391-000		VEHICLES-GAS/OIL 20%	14.00
		1/24/24 FORD PICKUP	29116
660-00-54615-391-000		VEHICLES-GAS 20%	14.00
		1/24/24 FORD PICKUP	29116
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	5.46
		1/25/24 KABOTA	29241
660-00-54615-391-000		VEHICLES-GAS 20%	5.47
		1/25/24 KABOTA	29274
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	9.59
		1/26/24 SKID LOADER	29459
660-00-54615-391-000		VEHICLES-GAS 20%	9.59
		1/26/24 SKID LOADER	29459
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	28.36
		1/30/24 TANDUM	30011
660-00-54615-391-000		VEHICLES-GAS 20%	28.37
		1/30/24 TANDUM	30011
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	14.85
		2/2/24 FORD PICKUP	30469
660-00-54615-391-000		VEHICLES-GAS 20%	14.85
		2/2/24 FORD PICKUP	30469
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	15.24
		2/5/24 RED TRUCK	30884

3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 6

ALL Checks by Payee  
3655 UTILITY CHECKING

ACCT

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
660-00-54615-391-000		VEHICLES-GAS 20%	15.24
	2/5/24	RED TRUCK 30884	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	9.60
	2/7/24	GRAY TRUCK 31176	
660-00-54615-391-000		VEHICLES-GAS 20%	9.60
	2/7/24	GRAY TRUCK 31176	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	20.21
	2/9/24	TANDUM 31511	
660-00-54615-391-000		VEHICLES-GAS 20%	20.21
	2/9/24	TANDUM 31511	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	12.04
	2/12/24	FORD PICKUP 31879	
660-00-54615-391-000		VEHICLES-GAS 20%	12.04
	2/12/24	FORD PICKUP 31879	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	29.51
	2/13/24	TANDUM 32030	
660-00-54615-391-000		VEHICLES-GAS 20%	29.50
	2/13/24	TANDUM 32030	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	18.17
	2/22/24	RED TRUCK 33234	
660-00-54615-391-000		VEHICLES-GAS 20%	18.18
	2/22/24	RED TRUCK 33234	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	-11.38
		REBATE 2/23/24	
660-00-54615-391-000		VEHICLES-GAS 20%	-11.38
		REBATE 2/23/24	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	4.04
	1/23/24	TANDUM 28976	
660-00-54615-391-000		VEHICLES-GAS 20%	4.04
	1/23/24	TANDUM 28976	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	2.09
	1/29/24	TRASH PUMP 29841	
660-00-54615-391-000		VEHICLES-GAS 20%	2.09
	1/29/24	TRASH PUMP 29841	
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	6.86
	1/30/24	SKID LOADER 29995	
660-00-54615-391-000		VEHICLES-GAS 20%	6.86
	1/30/24	SKID LOADER 29995	

3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 7

ALL Checks by Payee  
3655 UTILITY CHECKING

ACCT

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	2.82
	2/12/24	TRASH PUMP	31841
660-00-54615-391-000		VEHICLES-GAS 20%	2.82
	2/12/24	TRASH PUMP	31841
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	8.85
	2/15/24	SKID LOADER	32254
660-00-54615-391-000		VEHICLES-GAS 20%	8.85
	2/15/24	SKID LOADER	32254
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	15.91
	2/22/24	FORD PICKUP	33265
660-00-54615-391-000		VEHICLES-GAS 20%	15.91
	2/22/24	FORD PICKUP	33265
600-00-54615-391-000		VEHICLES-GAS/OIL 20%	-2.72
		REBATE	2/23/24
660-00-54615-391-000		VEHICLES-GAS 20%	-2.71
		REBATE	2/23/24
<b>Total</b>			<b>407.03</b>
<b>Grand Total</b>			<b>45,301.51</b>

3/01/2024

8:24 AM

In Progress Checks - Full Report - ALL

Page: 8

ALL Checks by Payee

ACCT

3655 UTILITY CHECKING

Dated From: 3/05/2024

From Account:

Thru: 3/05/2024

Thru Account:

Amount

---

Total Expenditure from Fund # 600 - WATER FUND

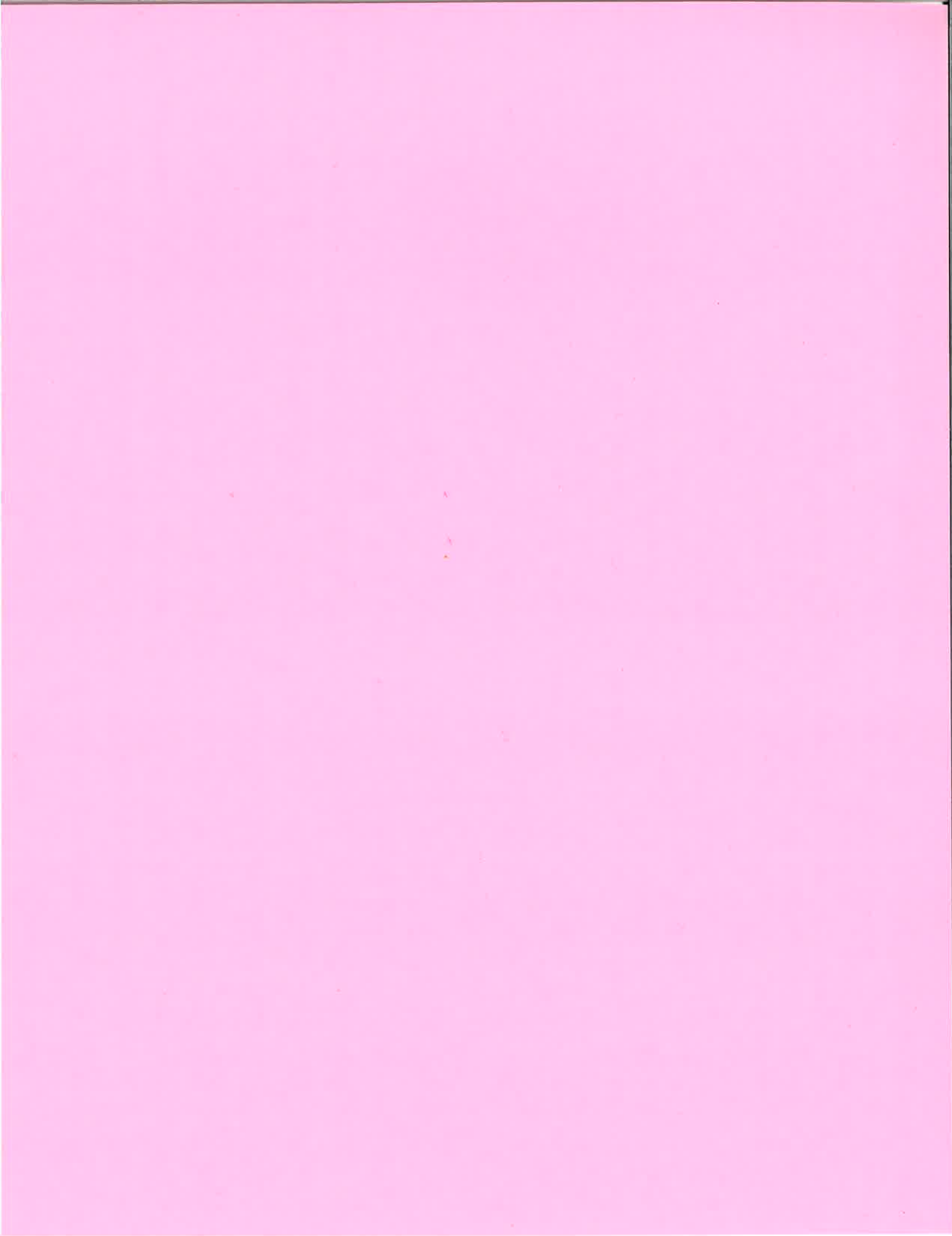
5,645.82

Total Expenditure from Fund # 660 - WASTEWATER FUND

39,655.69

Total Expenditure from all Funds

45,301.51





# Village Hall report

## February 19 – March 1

Created quick reference sheets for Architectural Review Board.

Completed records request for Sam Bailey.

Met with auditors.

Spoke with Norm at WDNR about water main review.

Mailed out Tax Exempt properties letters for 2024 filing.

Setup Carissa and Peter in Konexus.

Created how to guides for Konexus website.

Processed payroll.

Worked on election inspector training presentations.

Attended village board meeting.

Processed board approved payables.

Edited and printed RAKC information sign-up sheet.

Printed newsletter and garbage information pamphlets.

Daily collection of utility payments.

Researched entities for reporting a complaint to the state and BBB.

Printed off new employee packets for fire dept.

Updated fire dept listing of incomplete files and sent to fire dept personnel.

Created village board minutes.

Spoke with Gary Feider of The Sounder about 2/19 meeting.

Spoke with Stephen Cobb about village ordinances and ticketing.

Posted Open Book and Board of Review notices.

Entered in account adjustments for incorrect utility bills.

Posted Absentee Voting at Gables on the Pond notices.

Programmed key fobs for an organization.

Uploaded approved 2/5/24 village board meeting minutes to village website.

Spoke with Kayla of Ansay and Associates about programs available for insurance besides general health.

Contacted Municode about codification updates.

Processed citation payments.

Processed personal property payments.

Updated Music in the Park calendar.

Printed billing registers for DPW Director.

Input new meter into utility system.

Prepared for meeting with Fire Chief.

Updated zoning maps throughout village hall.

Created how-to for new voting equipment.

Attended Architectural Review Board meeting.

Organized share drive documents.

Sent letters to Aflac requesting reimbursement of payment.

Uploaded fee schedule to village website.

Bank deposits.

Post office pickups.

Drop box pickups.

Met with Pat Depies, Duane Urbanski, and Mike San Felippo.

Stuffed utility envelopes and mailed.

Purchased supplies for elections.

Researched local fire departments.

Completed Architectural Review Board minutes.

Inputted changes proposed by Plan Commission to running draft of zoning ordinances.

Processed Lake Trust CD's.

Processed records request from Xinyi Li.

Conducted mock trial run of election equipment at fire dept.

Created new addresses in WisVote for new homes built.

Processed records request for Jonathan Belval.

Sent utility bills via email.

Attended Lake, Parks, and Recreation Committee meeting.

Created Lake, Parks, and Recreation Committee meeting minutes.

Uploaded approved 9/28/23 lake, parks, and recreation committee meeting minutes to village website.

Uploaded February 2024 newsletter and inserts to village website.

Researched training for village staff and trustees.

Processed complaint received by Sherry Miller

Collected user data for Waste Management.

Cleaned village hall.

Attended WWTP kickoff meeting with Clark Dietz.

Monthly employee team building luncheon – assembled deduct meters.

Worked on village board packet, to include typing of this report.

Processed records request for EBI Consulting.

Researched allowable ARPA purchases.

### **Upcoming March 4-15**

Attend Plan Commission meeting.

Attend Village Board meeting.

Process payroll.

Process payables.

Attend Lake, Parks, and Recreation Committee meeting.

Go to Sheboygan County Clerks' office and pick up absentee ballots.

Process all absentee ballot requests.

Monthly employee team building luncheon – stuff absentee ballots.

Attend Finance Committee meeting.

Conduct poll worker training x 2.

Conduct in-person absentee voting at Gables on the Pond.

**Requested village hall dates of closure**

March 11<sup>th</sup> from 8 am – 12 pm; poll worker training at fire department.

March 11<sup>th</sup> from 12-1 pm; Absentee voting at Gables on the Pond.

March 12<sup>th</sup> from 1 – 5 pm; poll worker training at fire department.