



Architectural Review Board Meeting  
Monday, June 5, 2023  
6:00 p.m.

LOCATION OF MEETING: 96 RUSSELL DRIVE

## Meeting Minutes

1. Call to Order, Roll Call: Chairman San Felippo called the meeting to order at 6:05pm. Commission members present included Randy Soerens, Peter Lederer, Mike San Felippo, Jeff Schultz, and John Schluechtermann. Village employees present were Clerk/Treasurer Stephanie Waala. For additional attendees see attached sign in sheet.
2. Discussion and Possible Action on the approval of minutes from April 3, 2023 & May 1, 2023  
  
Member Soerens made a motion to approve as submitted; motion was seconded by Member Schluechtermann. Motion carried 5-0.
3. Discussion and Possible Recommendation to the Village Board on the construction of an addition at 647 1<sup>st</sup> St  
  
Member Schluechtermann asks for clarification as to on the plans it shows a deck, but on the survey it does not show. Property owner Brent Schicker informed the board the correct plan shows the deck and it was an error that it was not put on the survey.  
  
Member Schluechtermann made a motion to approve contingent that the survey be updated to include the deck; motion was seconded by Member Soerens. Motion carried 5-0.
4. Discussion and Possible Recommendation to the Village Board on the construction of a new home 190 E Shore Dr.  
  
Member Schluechtermann asks for clarification on the gable overhangs as they are not showing dimensions on the plans. The front setback would need to be setback in order for the home to comply. Property owner Jake Reuteler informed the board the gable overhang is 1 foot.  
  
Member Schluechtermann made a motion to approve contingent the house be setback approximately 9 inches to meet the front yard setbacks; motion was seconded by Member Soerens. Motion carried 5-0.
5. Adjourned at 6:21 pm



Architectural Review Board Meeting  
Monday, June 5, 2023  
6:00 p.m.

*Items on the Agenda may be taken out of order as listed. Posted to all village posting locations on 06/26/2023.*

*WI Open Meeting Law (Wis. Stat. 19.83(2) and 19.84(2)) In general, the open meetings law grants citizens the right to attend and observe open session meetings of governmental bodies but does not require a governmental body to allow members of the public to speak or actively participate in the body's meeting. A governmental body is free to determine for itself whether and to what extent it will allow citizen participation at its meetings.*



Architectural Review Board Meeting  
Monday, June 19, 2023  
6:00 p.m.

LOCATION OF MEETING: 96 RUSSELL DRIVE

## Meeting Minutes

1. Call to Order, Roll Call: Chairman San Felippo called the meeting to order at 6:00pm. Commission members present included Mike San Felippo, Jeff Schultz, Barbara Ruege, Randy Soerens, Steve Masslich, and Peter Lederer. Village employees present were Clerk/Treasurer Stephanie Waala. For additional attendees see attached sign in sheet.
2. Discussion and Possible Recommendation to the Village Board on the construction of a garage addition at 89 E Shore Dr.

Contractor Dan Mondlach informed the board that the slab was installed last year. This year they would like to convert it into a 3 seasons room. This would not max out the buildings available square footage if an additional addition would like to added in the future.

Clerk Waala inquired as to the survey not showing the distance from the closest corner to the lot line. Contractor Mondlach informed the board the building would not be closer than 7 feet.

Member Soerens made a motion to approve as submitted; motion was seconded by Member Masslich. Motion carried 6-0.

3. Discussion and Possible Recommendation to the Village Board on the construction of a concession stand at 53 Russell Dr.

Chairman San Felippo informed the board this item is coming back because prior approval was too expensive to build and added \$20,000 over budget. A four foot overhang will be on the north and south side of the building.

Dale Krier inquired is it will be closer to the parking lot because of the park attendant. Chairman San Felippo informed the board that is still undetermined.

Member Ruege informed the board that the sole original purpose of the building was for the park attendant and now the view does not over look the lake or parking lot.

Member Lederer informed the board that with the current proposal it would be in the floodplain. It has not been determined if it can be moved west to be out of the floodplain.



Architectural Review Board Meeting  
Monday, June 19, 2023  
6:00 p.m.

Member Masslich made a motion to approve as submitted, motion was seconded by Member Soerens. Motion carried 6-0.

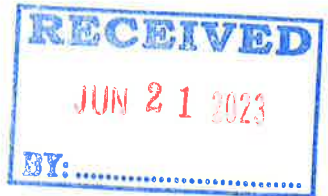
4. Adjourned at 6:31 pm

*Items on the Agenda may be taken out of order as listed. Posted to all village posting locations on 06/26/2023.*

*WI Open Meeting Law (Wis. Stat. 19.83(2) and 19.84(2)) In general, the open meetings law grants citizens the right to attend and observe open session meetings of governmental bodies but does not require a governmental body to allow members of the public to speak or actively participate in the body's meeting. A governmental body is free to determine for itself whether and to what extent it will allow citizen participation at its meetings.*



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
 Phone: (920) 994-4852 • Fax: (920) 994-2390



# Building Permit Application

Job Location (identify exact address) <b>93 wis 144</b>		Permit#			
Owner's Name <b>Dawn Keller</b>	Phone Number <b>920 480 0726</b>	Contact's Name (When Relevant)	Phone Number		
Owners Address (if different from above)		City	State		
Contractor's Name <b>Austin Eernisse</b>	License Number <b>1555 423</b>	Contractor's Contact Name <b>Austin Eernisse</b>	Phone Number <b>262 384 9146</b>		
Contractor's Address <b>633 Wolcott Street</b>		City <b>West Bend</b>	State <b>WI</b>		
Zip Code <b>53090</b>					
It is the responsibility of the permit holder to arrange for appointment times when entry is available for the required inspections. If the inspector cannot access the work site or if the work is not visible, a re-inspection fee will be charged.					
Use of Building	Type of Work	Item	Size/Qty.	Fee	Amount
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> New	Residence (One & Two Family)		.30/sq. ft.	
<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Addition	Residential Additions		.30/sq. ft.	
	<input checked="" type="checkbox"/> Alteration/Repair	Attached/Detached Garage		.25/sq. ft.	
		Plan Review: House & Garage		.12/sq. ft.	
		State Permit Seal (\$33.00 (State fee) + \$10.00)		\$43.00	
		Occupancy Permit (House & Garage)		.05/sq. ft.	
		Remodeling (Includes Plan Review)		.20/sq. ft.	
		Erosion Control		150.00	
		Decks & Porches	<b>601</b>	.20/sq. ft.	<b>120.20</b>
		Storage Sheds		30.00	
		Re-Roof		50.00	
		Re-Siding	<b>1</b>	50.00	<b>50.00</b>
		Swimming Pools (above ground/in ground/spas)		80.00	
		Fence		30.00	
Required for exterior design, appearance and location (fences, accessory buildings, decks, porches, pools, etc.)		Plan Commission/Architectural Review Board Fee		280.00	
		Expedited Meeting Fee (Nonrefundable)		100.00	
		Re-inspection Fee		75.00	
<b>NOTES:</b>					
Separate permits are needed for Electrical, HVAC, & Plumbing					
If any work is commenced before a building permit is obtained, all of the above fees shall be doubled.					
All calculations for square footage area are outside dimensions.					
I attest that the above information accurately describes the property and proposed work to be performed on it. I agree to comply with all Village of Random Lake and State of Wisconsin codes applicable to the occupancy and work stated above. I understand that any false misinformation may result in penalties prescribed in the Village of Random Lake ordinances.					<b>SUB TOTAL:</b>
<b>BASE FEE (add to subtotal):</b>					<b>\$40.00</b>
Applicants Signature: 		Applicants Name: <b>Austin Eernisse</b>		Permit Total:	
OFFICE USE ONLY Permit Paid By:				Date:	

3D view



## Dawn 3

### Deck Planner Software™ Report

All lengths, areas, weights, masses and structural forces are expressed in U.S. Customary units unless otherwise specified.

This report was created 6/14/2023 6:24 PM by Deck Planner Software™

# Your Planned Deck Design

Plan view construction





ELEC WR [ ]  
 GAS WR **PW 4892659**

CITY / TOWN / VILLAGE: VI / RANDOM LAKE  
 CUST/PROJ NAME: DAWN KOLLER & IRENE RAMIREZ  
 PROJECT LOCATION: .93 STH 144

WORK DESCRIPTION: RELOCATE EXISTING 1" PE GAS SERVICE  
W/ METER MOVE

PREPARED BY: SEAN MEEHAN  
 E-MAIL: SEAN.MEEHAN@WE-ENERGIES.COM

OFFICE #: 262.268.3631 CELL #: 262.232.1469  
 PAGER #: \_\_\_\_\_ IO #: 1960800  
 PROJECT ID: \_\_\_\_\_ CGS #: \_\_\_\_\_  
 DATE PREPARED: 6/29/2023 DATE REVISED: \_\_\_\_\_

RAILROAD PERMITTING/FLAGGING REQUIRED  YES  NO RR NAME \_\_\_\_\_  
 CORROSION CONTACT: LARRY VAN BOGELEN PHONE #: 262.945.8914

**COMMON INFORMATION**

STAKING REQUIREMENTS:  
 SURVEYOR  STAKED  
 DESIGNER  NOT NEEDED  YES  NO  
 MAIN / SERVICE IN EASEMENT:  
 WE ENERGIES  CUSTOMER

WORK IS APPROX 925 FT. DIRECTION EAST OF C/OF  
CARROLL ST NEAREST CROSS STREET

**ELECTRIC INFORMATION**

OPER MAP #: \_\_\_\_\_ FEEDERLINE #: \_\_\_\_\_  
 CATV JOINT USE #: \_\_\_\_\_ TEL JOINT USE #: \_\_\_\_\_

**PROPOSED GAS SERVICE INFORMATION**

MTR SIZE: \_\_\_\_\_ MTR TYPE: \_\_\_\_\_ PRES:  EFV  
 SERV PIPE SIZE: 1" MATERIAL: PE  RELIGHT  
 MTR LOC: 2 FT. E OF NW CORNER  CURB VLV  
 CONSTRUCTION TYPE: \_\_\_\_\_  TIE IN PIPING

**JOB INFO:**

SECTION / TOWN / RANGE: SW1/4 SEC 26, T13N, R21E  
 SITE VISIT COMPLETED BY: SEAN MEEHAN  
 JOB OWNER: BRUCE MEYER @ 262.338.4767

**MAIN CONTACTS:**

- CONTRACTOR/BUILDER:
- PLUMBER/HVAC:
- ELECTRICIAN:
- CUSTOMER: DAWN KOLLER & IRENE RAMIREZ @ 920.980.0726

**CONTINGENCIES & COMMENTS:**

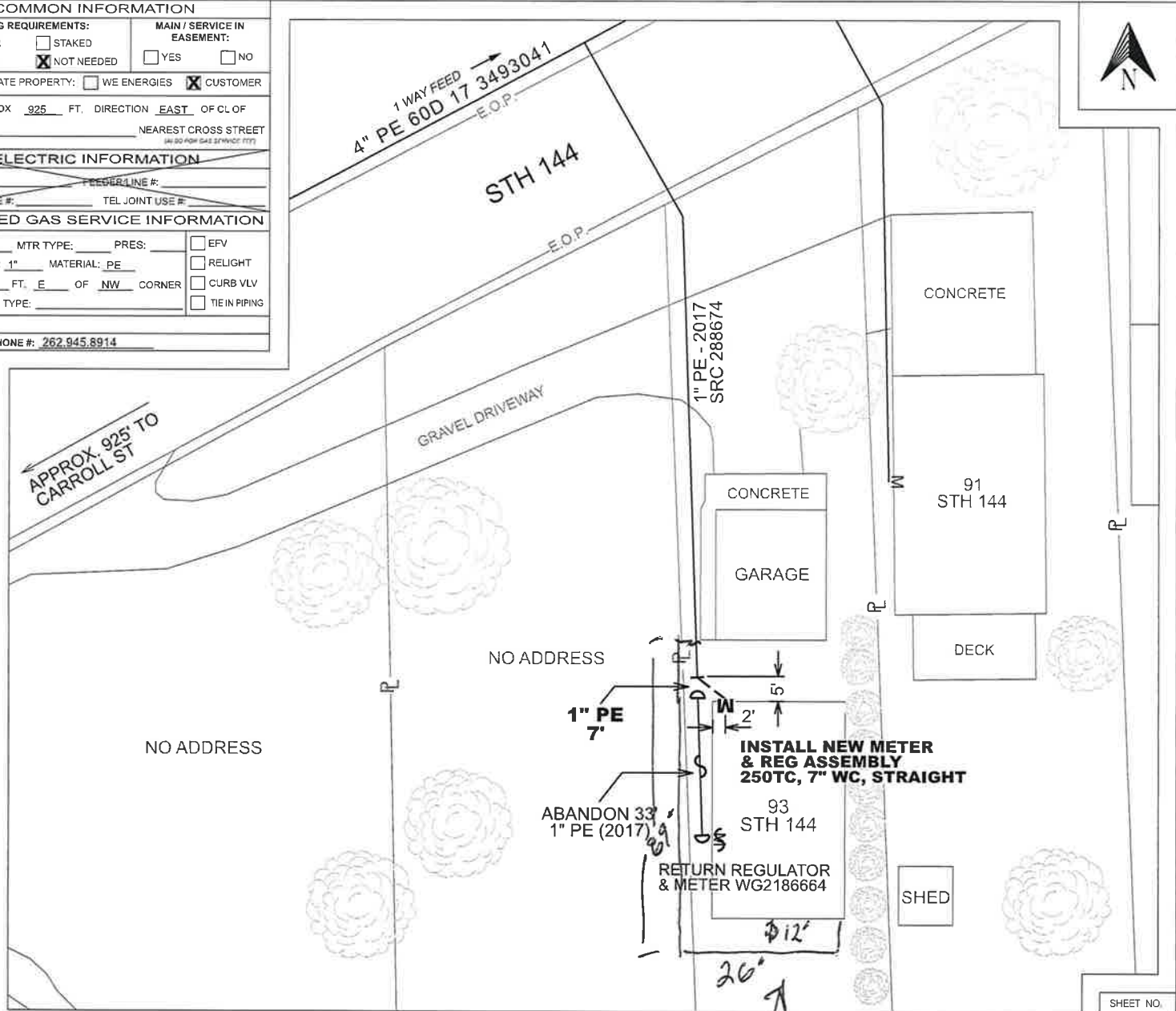
- DIGGERS HOTLINE / MISS DIG REQUIRED
- WE ENERGIES WILL COMPLETE LAWN / PAVEMENT REPAIR ON:
- ROAD ROW  NEIGHBORING PROPERTY
  - NONE  CUSTOMER PROPERTY
- WE ENERGIES WILL HAUL SPOIL FROM:
- ROAD ROW  NEIGHBORING PROPERTY
  - NONE  CUSTOMER PROPERTY

CUSTOMER IS REQUIRED TO LOCATE ALL PRIVATE UNDERGROUND FACILITIES PRIOR TO INSTALLATION  
 WE ENERGIES IS NOT RESPONSIBLE FOR ROOT DAMAGE

**CONSTRUCTION REMARKS**

•  
 •

CUSTOMER'S SIGNATURE OF APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_



Deck



Property Description  
**Hinze & Associates, Inc.**

458-5921

REGISTERED LAND SURVEYORS  
 P.O. BOX 144  
 SHEBOYGAN, WISCONSIN 53081

V. Random Lake



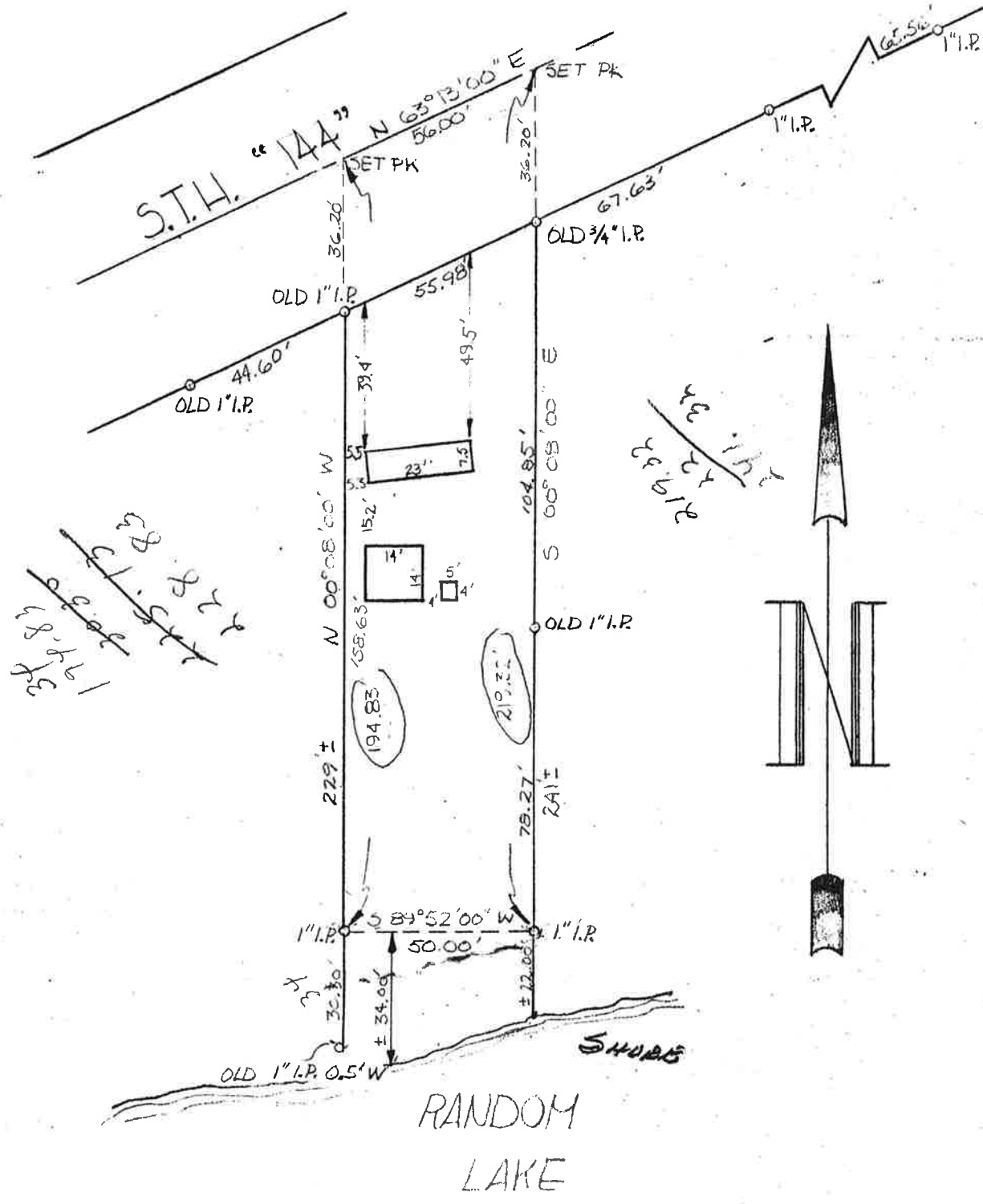
**PLAT OF SURVEY**

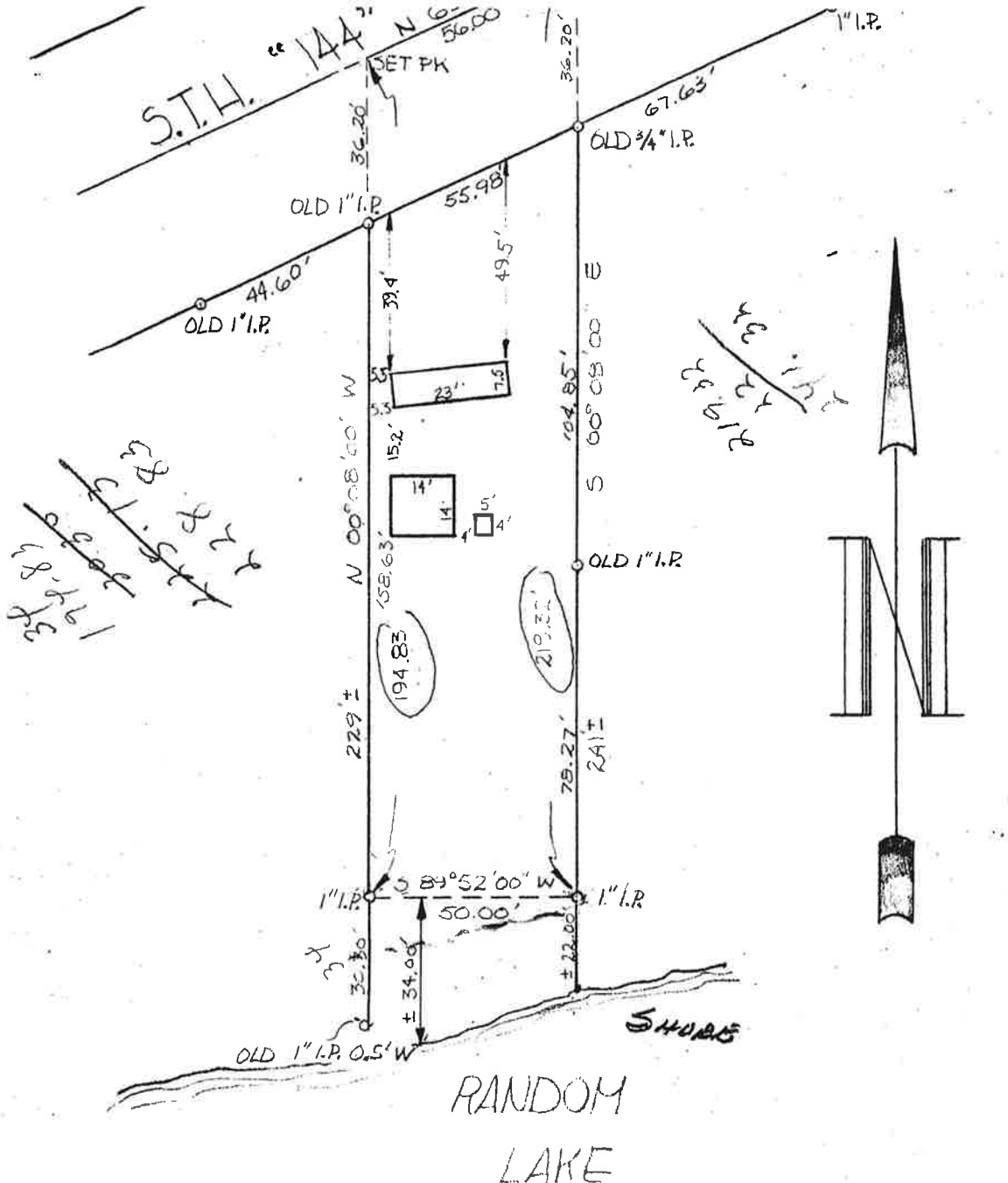
DESCRIPTION

Part of the Southwest ¼ of Section 26, Town 13 North, Range 21 East.

SCALE: 1"=40'

MAY, 1978





**SURVEY CERTIFICATE**

I HAVE SURVEYED THE ABOVE-DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

FOR: ATTORNEY DONALD KOEHN



DAVID C. HINZE S-924  
SHEBOYGAN, WISCONSIN  
Job No. A-7103

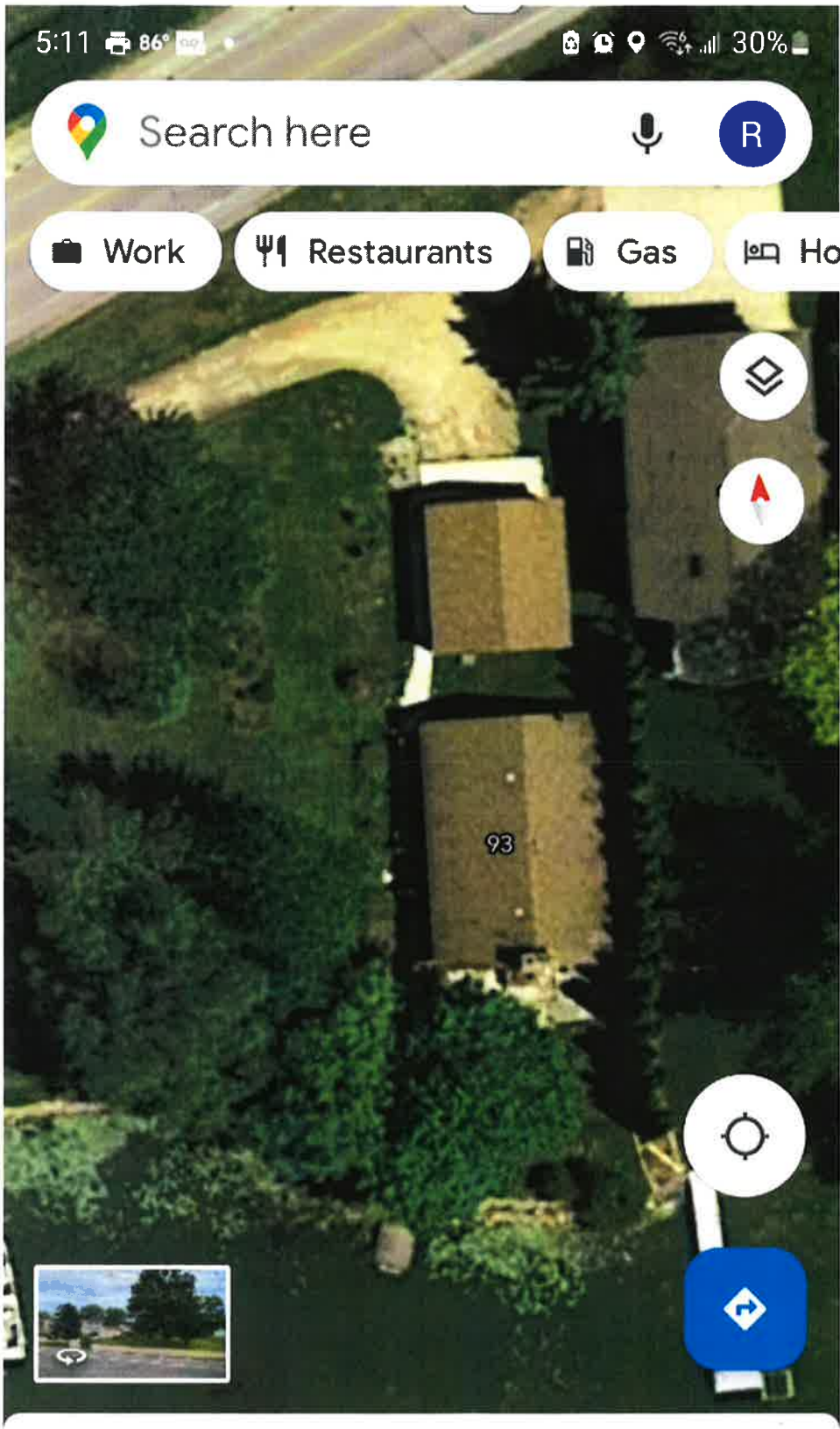
Search here

Work

Restaurants

Gas

Ho



Latest in the area

Explore

Go

Saved

Contribute

Updates





59176744560

Show search results for 59176744560

59028426832

144

59176744580

Map navigation controls including zoom in (+), zoom out (-), location, home, and search icons.

Scale bar: -87.957 43.561 Degrees 60ft

Map tool icons: layers, info, list, grid, measure, 3D, print, and another info icon.



59176744560

Show search results for 59176744560

59028426832

144

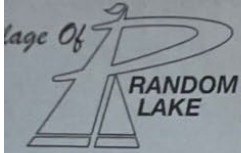
2023 Tax Parcels  
(1 of 1)

59176744560



87.957 43.561 Degrees





P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
 Phone: (920) 994-4852 • Fax: (920) 994-2390

## Building Permit Application

Job Location (identify exact address) <b>201 ALLEN STREET</b>			Permit#	
Owner's Name <b>DAVID H. RBE</b>	Phone Number <b>918-345-8922</b>	Contact's Name (When Relevant)		Phone Number
Owners Address (if different from above) <b>4477 WELSHALE BVD. #203</b>		City <b>LOS ANGELES</b>	State <b>CA</b>	Zip Code <b>90010</b>
Contractor's Name <b>SIGN ME UP</b>	License Number	Contractor's Contact Name <b>BREAN DUNTON</b>		Phone Number <b>920-550-0004</b>
Contractor's Address <b>311 FOREST AVE.</b>		City <b>JACKSONVILLE</b>	State <b>WI</b>	Zip Code <b>53025</b>

It is the responsibility of the permit holder to arrange for appointment times when entry is available for the required inspections. If the inspector cannot access the work site or if the work is not visible, a re-inspection fee will be charged.

Use of Building	Type of Work	Item	Size/Qty.	Fee	Amount
<input type="checkbox"/> Residential	<input type="checkbox"/> New	Residence (One & Two Family)		.30/sq. ft.	
<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Addition	Residential Additions		.30/sq. ft.	
	<input checked="" type="checkbox"/> Alteration/Repair	Attached/Detached Garage		.25/sq. ft.	
		Plan Review: House & Garage		.12/sq. ft.	
		State Permit Seal (\$33.00 (State fee) + \$10.00)		\$43.00	
		Occupancy Permit (House & Garage)		.05/sq. ft.	
		Remodeling (Includes Plan Review)		.20/sq. ft.	
		Erosion Control		150.00	
		Decks & Porches		.20/sq. ft.	
		Storage Sheds		30.00	
		Re-Roof		50.00	
		Re-Siding		50.00	
		Swimming Pools (above ground/in ground/spas)		80.00	
		Fence		30.00	
		<b>SIGNS</b>			
<b>Required for exterior design, appearance and location (fences, accessory buildings, decks, porches, pools, etc.)</b>		Plan Commission/Architectural Review Board Fee		280.00	
		Expedited Meeting Fee (Nonrefundable)		100.00	
		Re-inspection Fee		75.00	

**NOTES:**

Separate permits are needed for Electrical, HVAC, & Plumbing

If any work is commenced before a building permit is obtained, all of the above fees shall be doubled.

All calculations for square footage area are outside dimensions.

I attest that the above information accurately describes the property and proposed work to be performed on it. I agree to comply with all Village of Random Lake and State of Wisconsin codes applicable to the occupancy and work stated above. I understand that any false misinformation may result in penalties prescribed in the Village of Random Lake ordinances.

**SUB TOTAL:**  
**\$40.00**

**BASE FEE (add to subtotal):**

Applicants Signature: 	Applicants Name: <b>BREAN P. DUNTON</b>	<b>Permit Total:</b>
---------------------------	--	----------------------

OFFICE USE ONLY Permit Paid By:	Date
------------------------------------	------



BMO Branch #6372  
 RANDOM LAKE - ALLEN ST  
 201 ALLEN STREET  
 RANDOM LAKE, WI 53075

I am a duly authorized representative for the above referenced leased address.

In my capacity as Landlord/Landlord's representative, I do hereby authorize **Priority** to perform all work associated with the above referenced location. I approve of the scope of work and design intent requested by BMO.

I further authorize **Priority** or its representative to obtain all required permits in their name. Costs associated with permit and scope of work outlined in design package will be at the expense of BMO.

**LANDLORD APPROVAL**

Signature	<i>David H Rhee</i>
Name	<i>DAVID H. RHEE</i>
Title	<i>Owner</i>
Company	<i>DAVID HAKMYONG RHEE and PATRICIA S. RHEE REVOCABLE 2002 TRUST</i>
Address	<i>4477 Wilshire BL #203 Los Angeles CA 90010</i>
Phone	<i>818-395-8922</i>
Date	<i>5-8-2003</i>

@NAW

*Please change mailing address*



Google Map



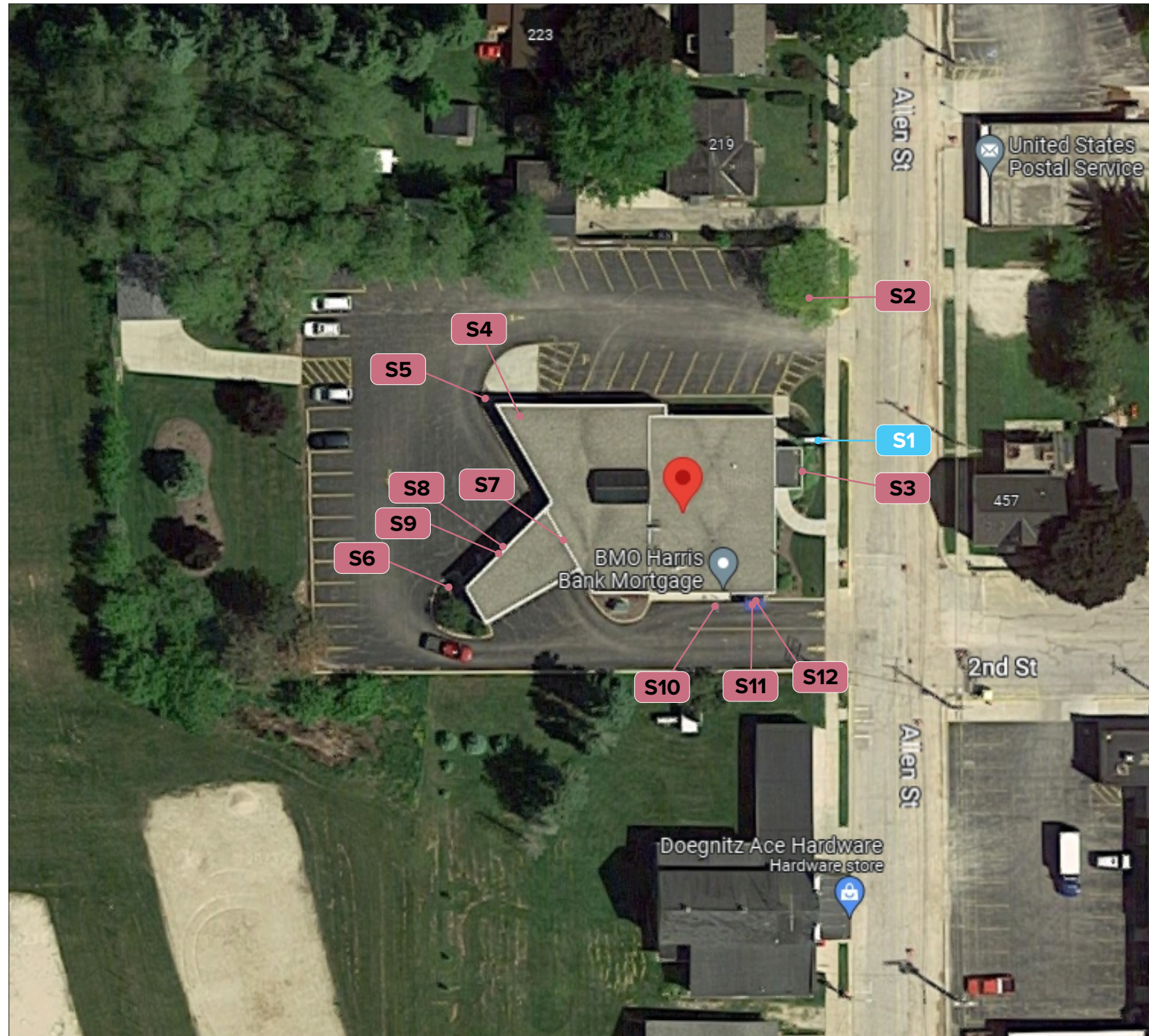
**Site ID 6372 - B**  
**201 Allen Street**  
**Random Lake, WI 53075**

Initial Date: 4-18-2023

Revision Date: 4-20-2023, 4-25-23, 5-30-2023, 6-02-2023



Site



Primary Signs

Sign	Proposed Sign	Allowed SF	Proposed SF
S1	Replacement Face	24	67.9

Secondary Signs

Sign	Proposed Sign	Allowed SF	Proposed SF
S2	Non-Illuminated Directional	NA	NA
S3.1	Door Vinyl	NA	NA
S3.2	Door Vinyl - Automatic Door	NA	NA
S3.3	Vinyl Symbols	NA	NA
S4.1	Door Vinyl	NA	NA
S4.2	Door Vinyl - Automatic Door	NA	NA
S4.3	Vinyl Symbols	NA	NA
S5	Leave As Is - Directional	NA	NA
S6	Leave As Is - Directional	NA	NA
S7	Drive Thru Window Vinyl	NA	NA
S8	Leave As Is - Open/Close Signs	NA	NA
S9	Leave As Is - Clearance Panel	NA	NA
S10	Leave As Is - Clearance Sign Pole	NA	NA
S11	Leave As Is - Awning Reskin	NA	NA
S12	Leave As Is - ATM	NA	NA

Code Narrative  
 Ground signs: NTE 24sf  
 Wall Signs: NTE 24sf



Drawing # **C78863-1**  
 OE **6372**

Address: 201 Allen Street  
 City/ST: Random Lake, WI

Date: 4-18-2023  
 Designer: PV PM: BH

File Location: STND  / Drive/Clients/ CSTM   
 AS  CR  EN

Revisions:  
 Updated to reflect BB changes I AD I 5.30.23 X  
 Updated to reflect BB changes - RF - 6/2/23 X  
 X X  
 X X  
 X X

Underwriters Laboratories, Inc.  
 Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.

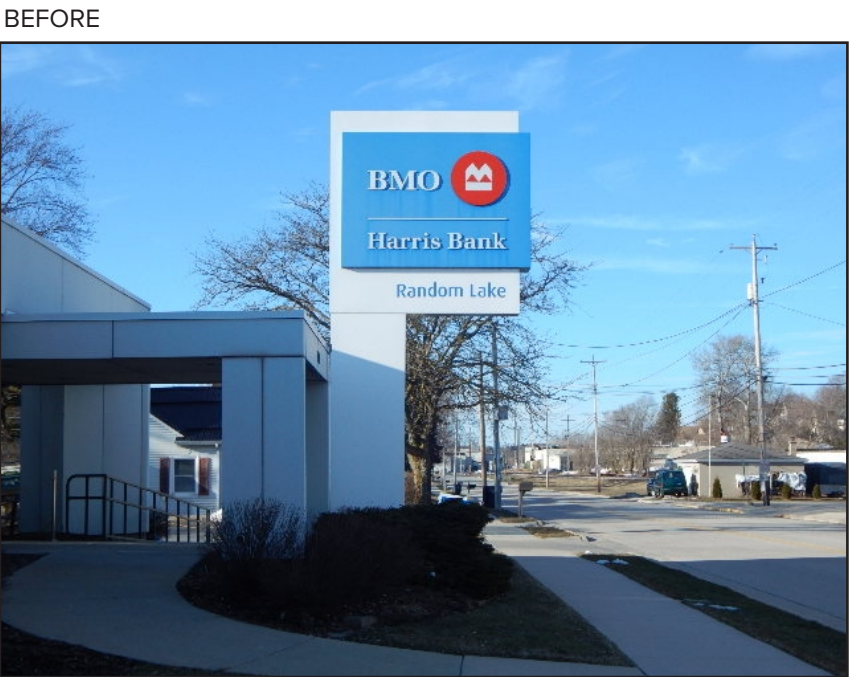


**S1 Custom Replacement Faces (2 required)**

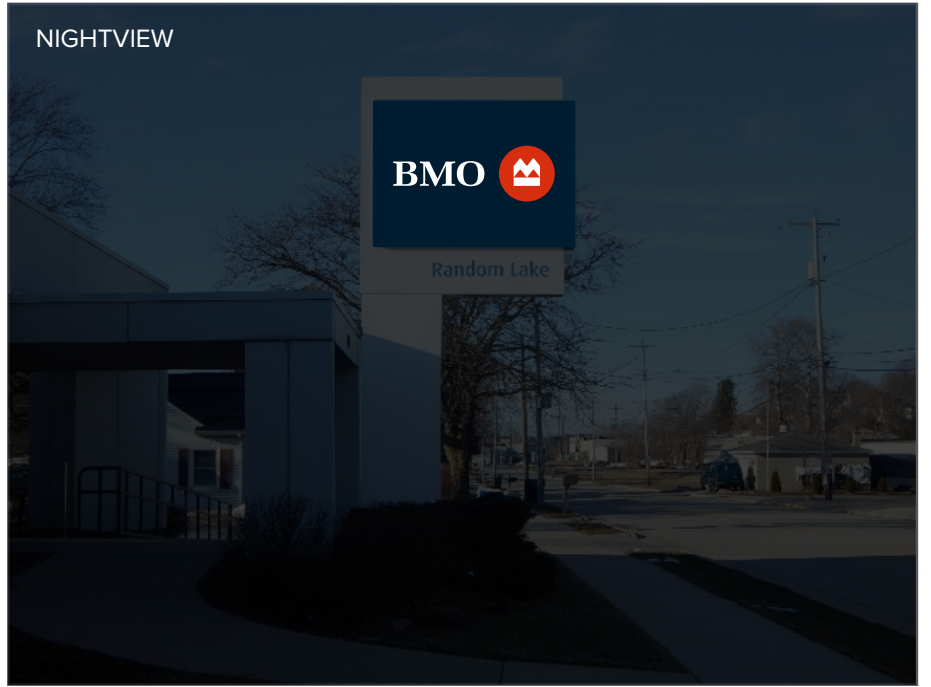
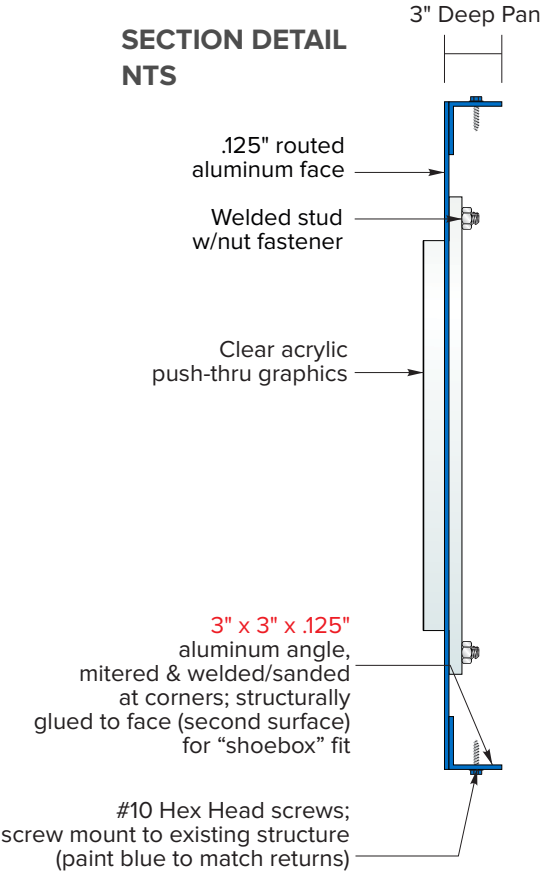
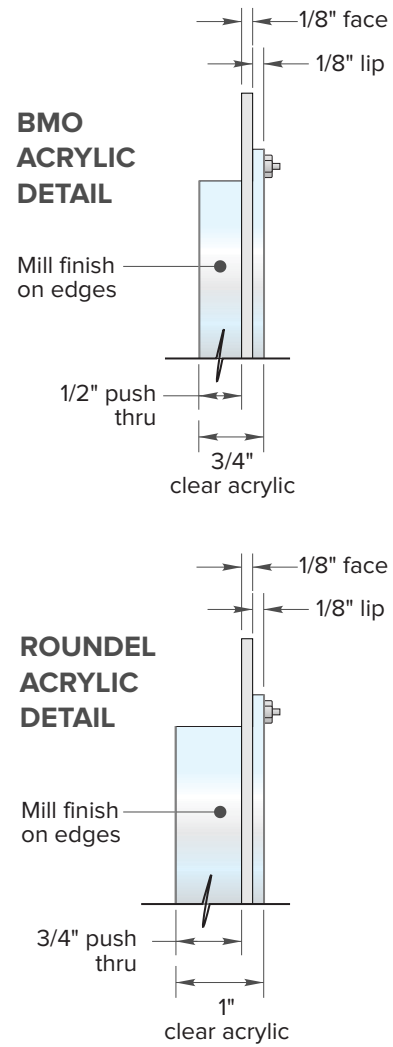
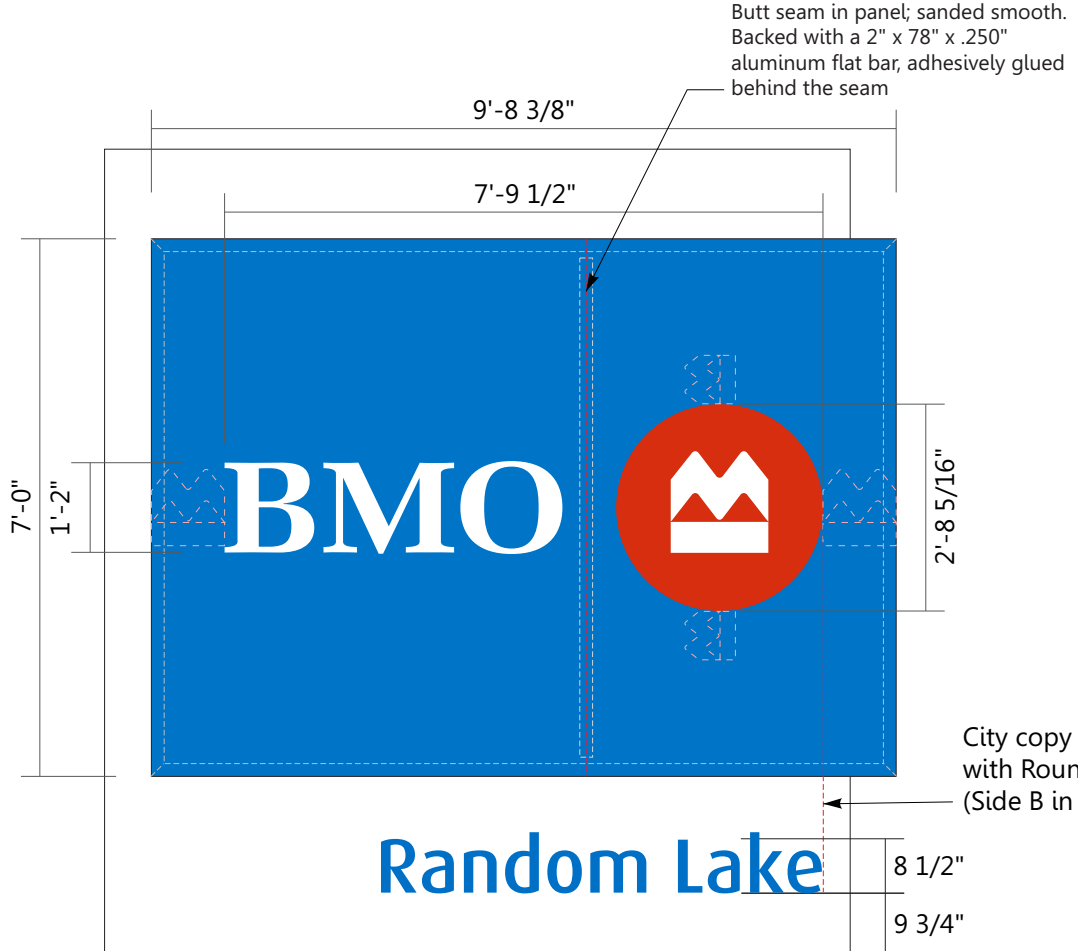
Remove existing faces from D/F illuminated ground sign. Remove city name from pylon face, clean off any remaining residue. Install new routed aluminum faces with push thru copy.

**Color Specifications**

- **Faces, returns & existing cabinet:** Painted to match Pantone 300C Blue, Satin finish
- **City Name Vinyl:** 3M #3630-8308 BMO Blue
- **Roundel Vinyl:** 3M #3630-143 Poppy Red w/ 3M 3660M Scotchcal Matte overlamine (first surface)
- Copy & Roundel Accent Vinyl:** 3M #3630-20 Translucent White (first surface)
- Push-Thru Graphics:** Clear acrylic with 3M #3635-70 White Diffuser film (second surface)



Existing Sign Size: 10'-3 3/4"w x 10'-6"h / 22'-0" OAH



SCALE | 1:30 | 67.9 sq.ft

Drawing # **C78863-2**  
 OE **6372**

Address: 201 Allen Street  
 City/ST: Random Lake, WI

Date: 4-18-2023  
 Designer: PV PM: BH

File Location: STND  
 Drive/Clients/ CSTM X  
 AS CR EN

Revisions:

remove and replace city name - JAS - 4.25.23	X
Revised dims with tech survey - RF - 6/2/23	X
X	X
X	X
X	X

Underwriters Laboratories, Inc.  
 Sign components to be in strict UL compliance.

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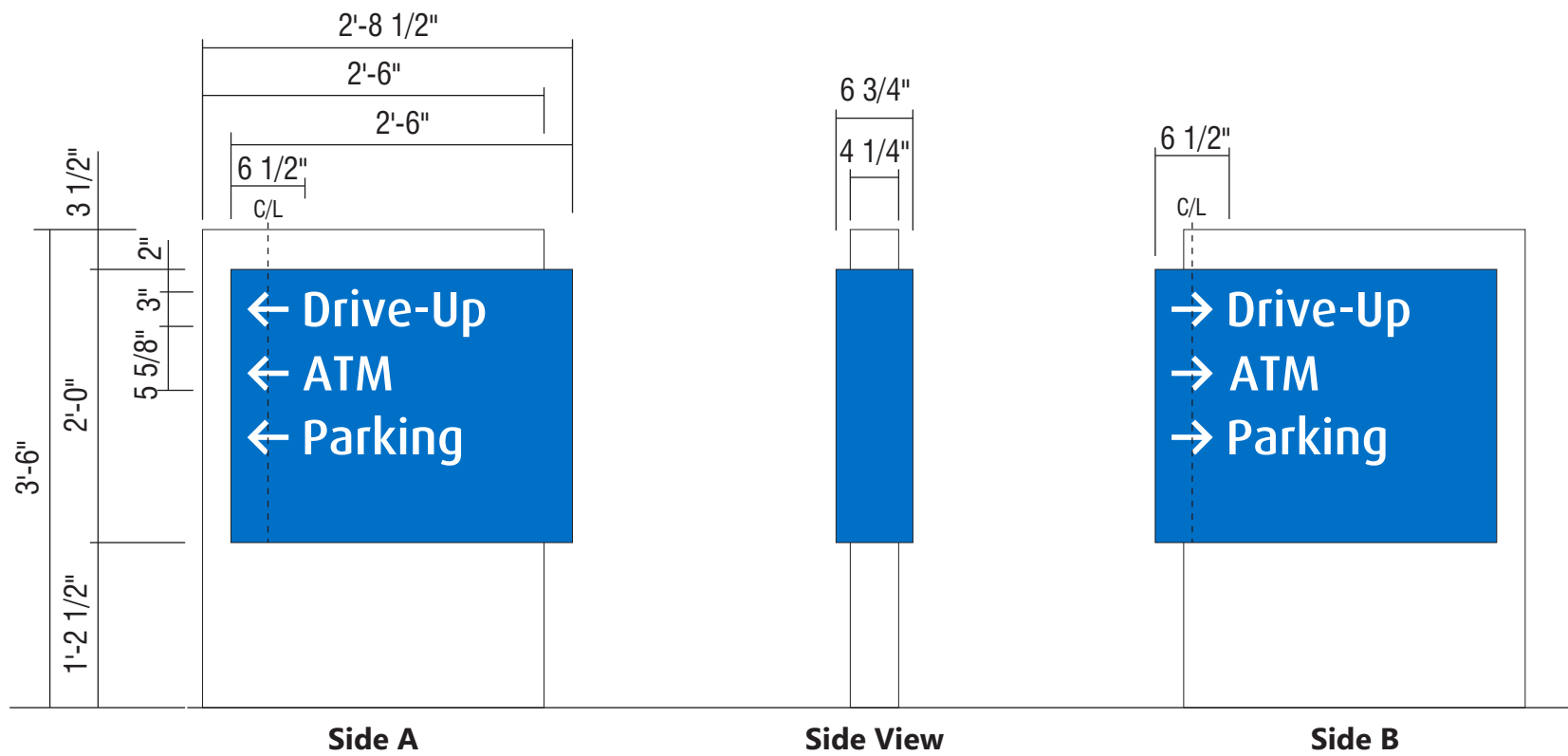


S2

### D-5 - Non-Illuminated D/F Directional

Remove existing directional sign. Install all new directional.

For Detailed Construction Specifications  
Refer to Drawing: D-5



BEFORE



Existing Sign Size: 2'-8 1/2" w x 3'-6" h

AFTER



50 sq ft  
SCALE | 1:16

Drawing # **C78863**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND  X  
Drive/Clients/ CSTM

AS  CR  EN

Revisions:	
X	X
X	X
X	X
X	X
X	X
X	X

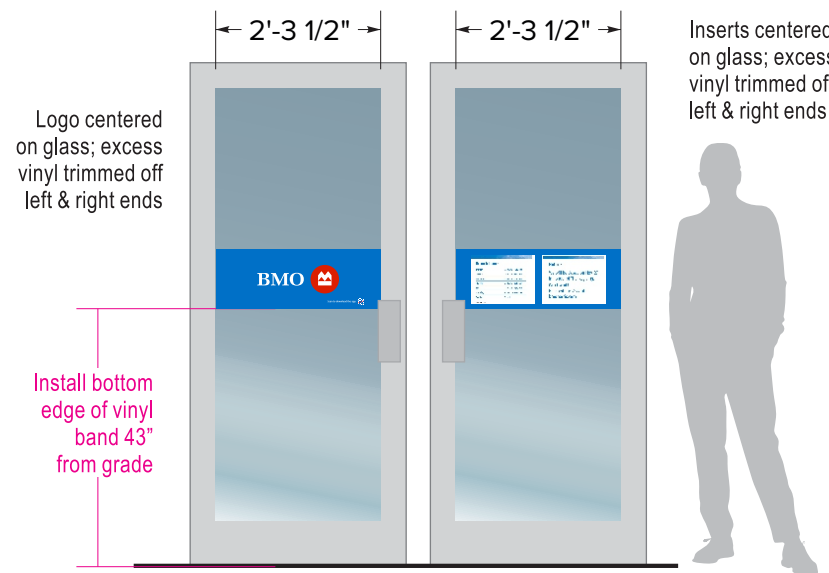
Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



### S3.1 Door Vinyl - Banding

Remove existing logo, hours, caution and ADA accessible vinyl, clean off any remaining residue. Apply new vinyl to first surface.



#### Double Door

Scale: 3/8"=1'-0"

3M #7725-10 Opaque White with printed graphics

**COLOR PALETTE**

● Pantone 300 Blue    
 ● Pantone 485 Red

Inserts to be provided by others

BEFORE



AFTER

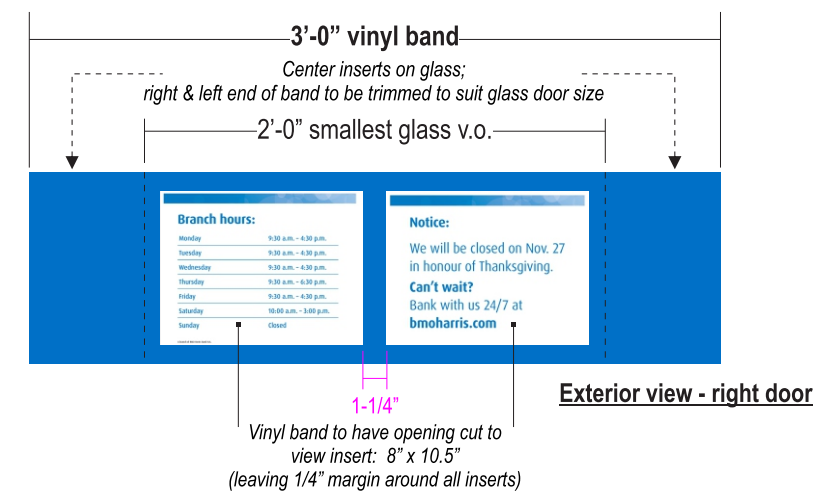


**\*To be used for doors 24"-36"**

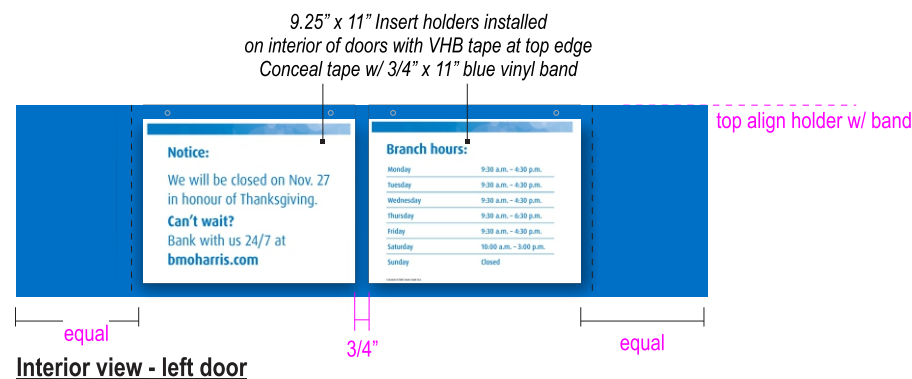
**DV-2-Panel-10**



Exterior view - left door



Exterior view - right door



Interior view - left door



Interior view - right door

SCALE | 1:10

Drawing # **C78863**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV    PM: BH

File Location: STND  / Drive/Clients/ CSTM   
 AS     CR     EN

Revisions:

X		X
X		X
X		X
X		X
X		X

Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.






### S3.2 Vinyl Decals (Qty. 2)

Remove existing vinyl. Clean residue. Apply new vinyl decals first surface as shown.

#### DIGITALLY PRINTED VINYL DECALS:

Digitally printed to match colors shown with 3M 3660-M Scotchcal Matte overlamine

-  Black
-  Pantone 012 Yellow
-  Pantone 287 Blue

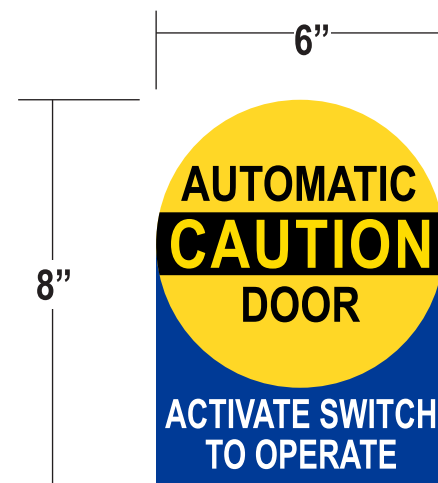
BEFORE



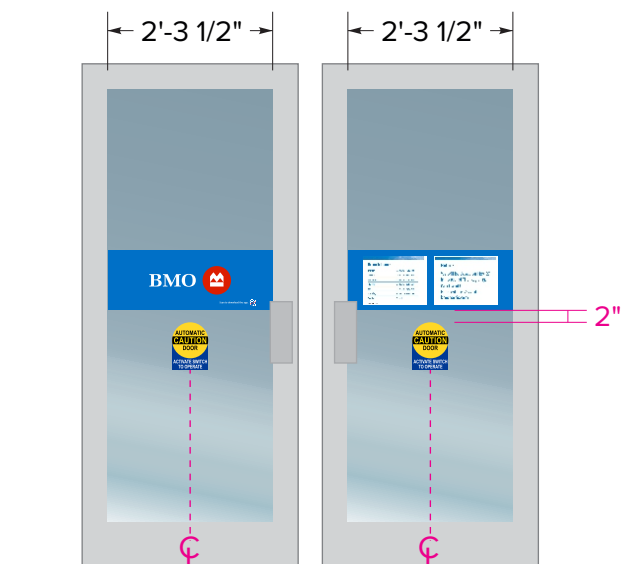
AFTER



VD-AUTO



Scale: 3"=1'-0"






Double Door

Scale: 3/8"=1'-0"


Drawing # **C78863**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND X  
Drive/Clients/ CSTM      
 AS  CR  EN

Revisions:	
X	X
X	X
X	X
X	X
X	X

 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.





### S3.3 Vinyl Decals

Apply new vinyl decals first surface as shown.

#### DIGITALLY PRINTED VINYL DECALS:

Digitally printed to match colors shown with 3M 3660-M Scotchcal Matte overlamine

-  Black
-  White

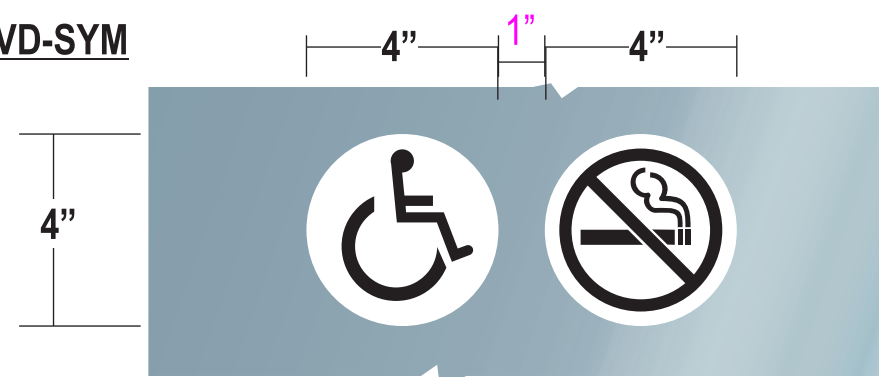
BEFORE





AFTER

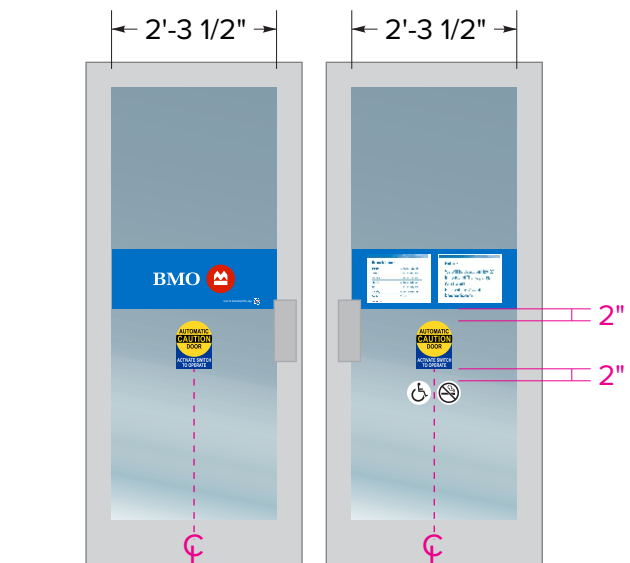


VD-SYM



Scale: 3"=1'-0"

-  Black
-  White






Single Door with Crash Bar


Drawing # **C78863-1**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND X  
Drive/Clients/ CSTM      
 AS  CR  EN

Revisions:	
added to brandbook - JAS - 4.25.23	X
X	X
X	X
X	X
X	X

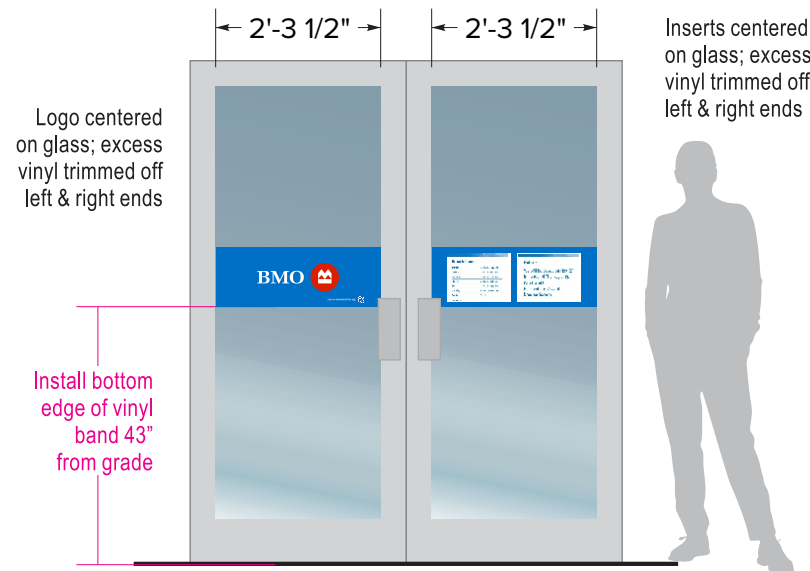
 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



# S4.1 Door Vinyl - Banding

Remove existing logo, hours, caution and ADA accessible vinyl, clean off any remaining residue. Apply new vinyl to first surface.



## Double Door

Scale: 3/8"=1'-0"

3M #7725-10 Opaque White with printed graphics

**COLOR PALETTE**

● Pantone 300 Blue
 ● Pantone 485 Red

Inserts to be provided by others

BEFORE



AFTER

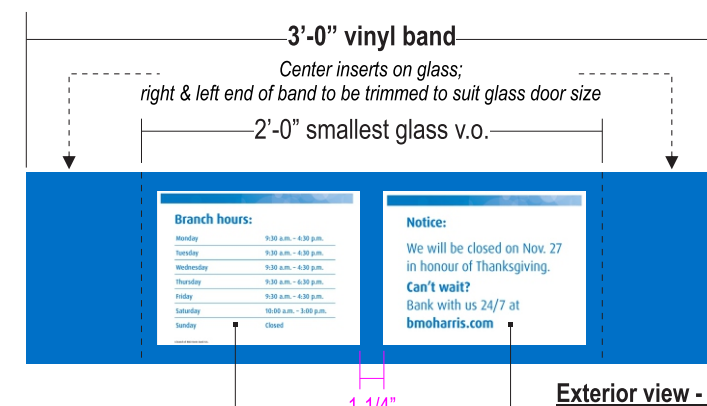


**\*To be used for doors 24"-36"**

**DV-2-Panel-10**

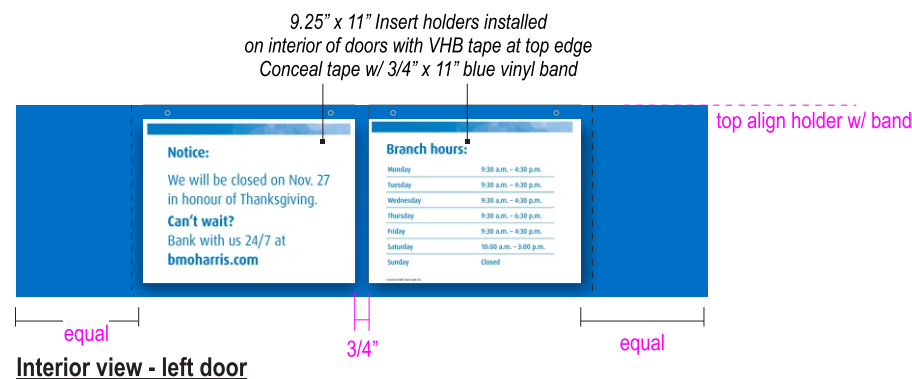


Exterior view - left door



Exterior view - right door

Vinyl band to have opening cut to view insert: 8" x 10.5" (leaving 1/4" margin around all inserts)



Interior view - left door



Interior view - right door

SCALE | 1:10

Drawing # **C78863**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND  / Drive/Clients/ CSTM   
AS  CR  EN

Revisions:

X		X
X		X
X		X
X		X
X		X

**Underwriters Laboratories, Inc.**  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.






## S4.2 Vinyl Decals (Qty. 2)

Remove existing vinyl. Clean residue. Apply new vinyl decals first surface as shown.

### DIGITALLY PRINTED VINYL DECALS:

Digitally printed to match colors shown with 3M 3660-M Scotchcal Matte overlamine

-  Black
-  Pantone 012 Yellow
-  Pantone 287 Blue

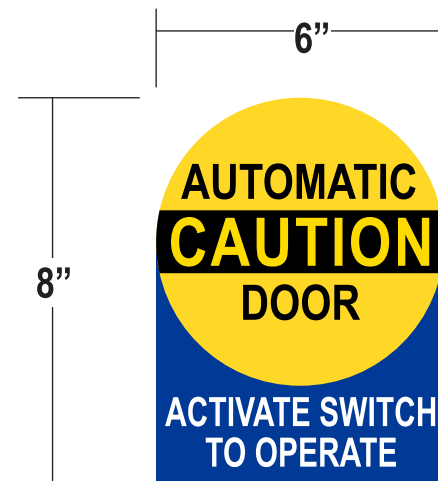
BEFORE



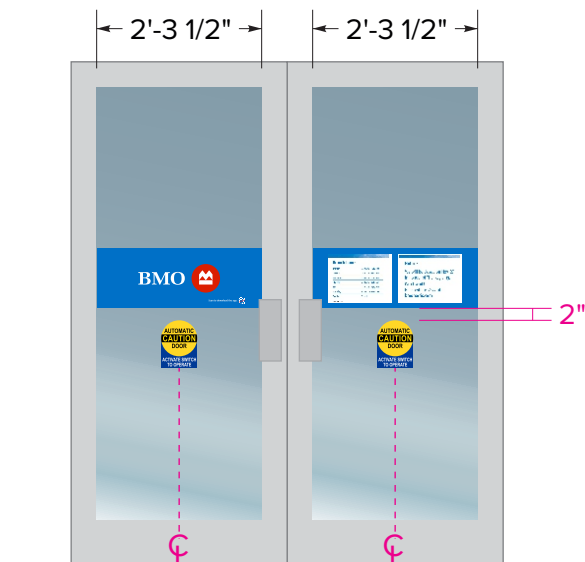
AFTER



VD-AUTO



Scale: 3"=1'-0"



Double Door

Scale: 3/8"=1'-0"

Drawing # **C78863**

OE **6372**

Address: 201 Allen Street

City/ST: Random Lake, WI

Date: 4-18-2023

Designer: PV PM: BH

File Location: STND X  
Drive/Clients/ CSTM    

 AS  CR  EN

Revisions:

X	_____	X
X	_____	X
X	_____	X
X	_____	X
X	_____	X

 Underwriters Laboratories, Inc.

Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.







### S4.3 Vinyl Decals

Apply new vinyl decals first surface as shown.

#### DIGITALLY PRINTED VINYL DECALS:

Digitally printed to match colors shown with 3M 3660-M Scotchcal Matte overlamine

-  Black
-  White

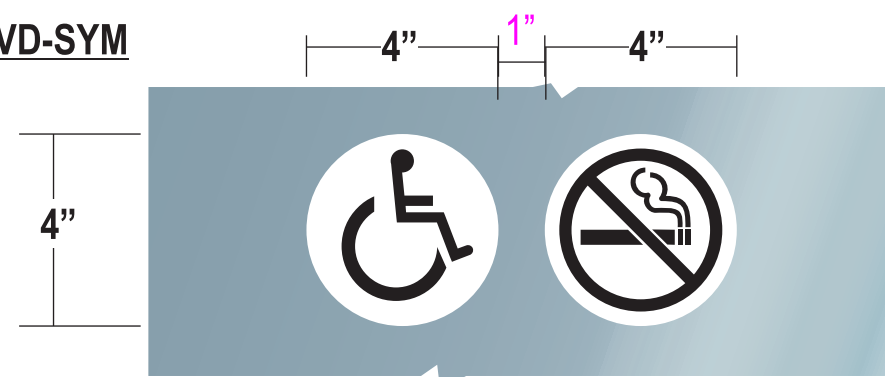
BEFORE





AFTER

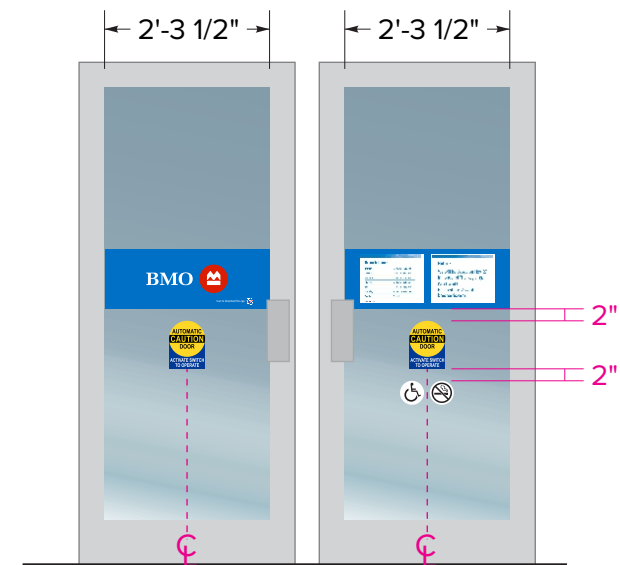


VD-SYM



Scale: 3"=1'-0"

-  Black
-  White






**Single Door with Crash Bar**


Drawing # **C78863-1**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND X  
Drive/Clients/ CSTM      
 AS  CR  EN

Revisions:	
added to brandbook - JAS - 4.25.23	X
X	X
X	X
X	X
X	X

 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



**S5**

**Leave As Is - Directional**

Leave existing directional as is.



Revisions:	
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____

**S6**

**Leave As Is - Directional**

Leave existing directional as is.



Drawing # **C78863**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND \_\_\_  
Drive/Clients/ CSTM \_\_\_  
 AS  CR  EN

Revisions:	
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____

 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



# S7 Drive Thru Window Vinyl - Banding

Remove existing vinyl. Clean residue. Apply new vinyl banding first surface as shown.

3M #7725-10 Opaque White with printed graphics

### COLOR PALETTE



Inserts to be provided by others

**\*Single & double windows without a drawer.**  
To be used for windows 45"-66"

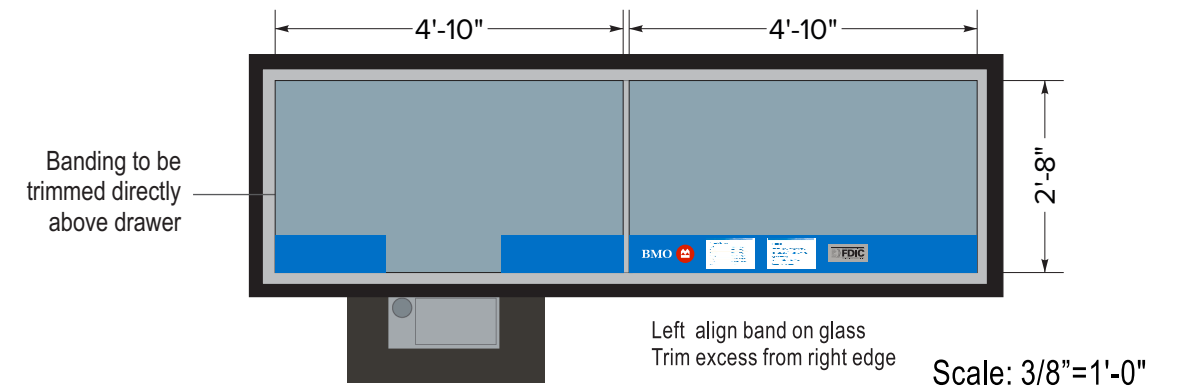
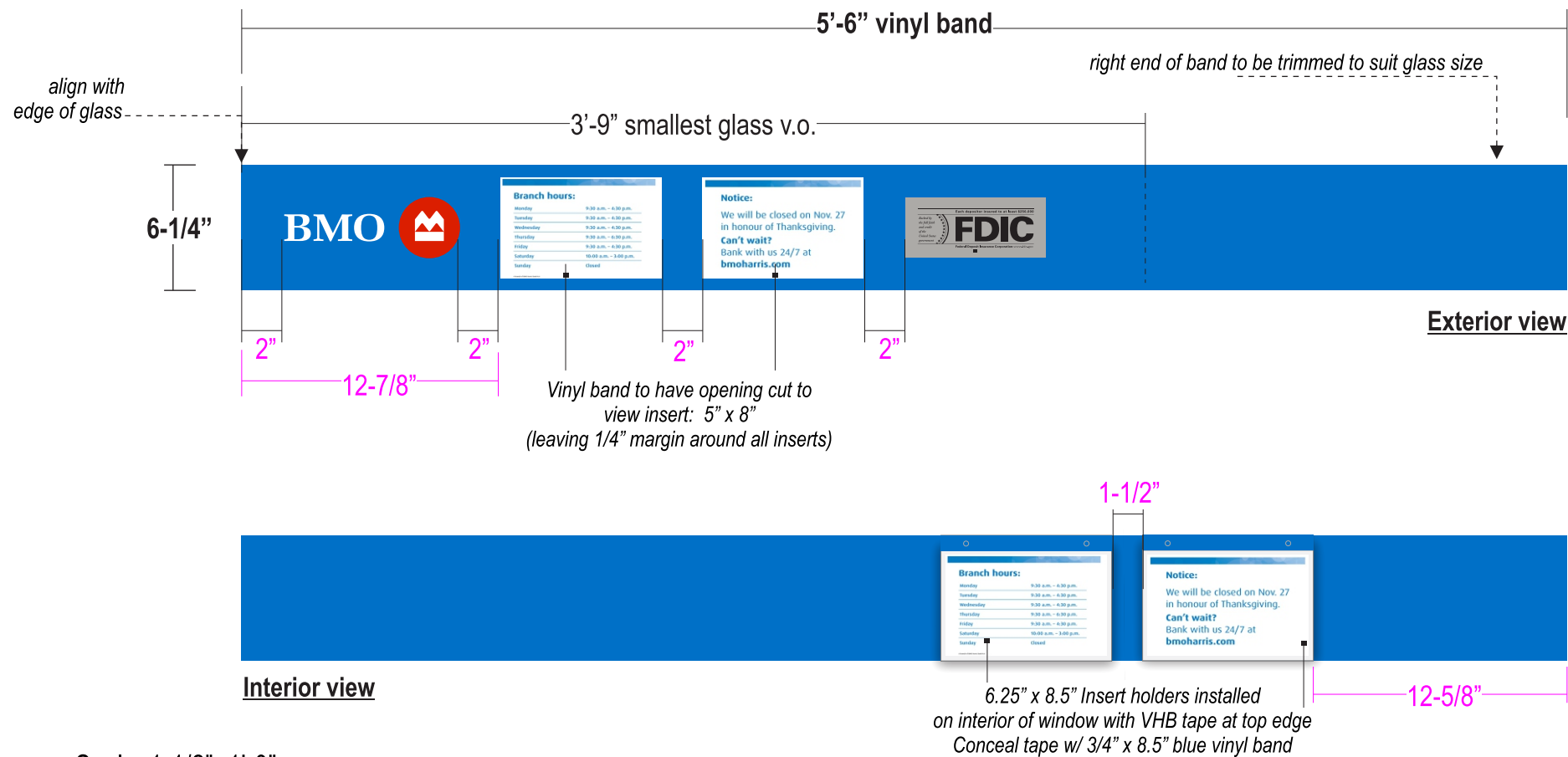
BEFORE



AFTER



WV-DU



Scale: 1-1/2"=1'-0"

Drawing # **C78863-1**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND X  
Drive/Clients/ CSTM

AS CR EN

Revisions:	
Revised window length - RF - 6/2/23	X
X	X
X	X
X	X
X	X
X	X

Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



**S8**

**Leave As Is - Open/Close Sign (Qty. 4)**

Leave existing signs as they are.  
NOTE: Tech survey required to verify if signs are working properly.




Drawing # **C78863-1**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND \_\_\_  
Drive/Clients/ CSTM \_\_\_  
 AS  CR  EN

Revisions:	
Added note - KB - 4.20.23	X
X	X
X	X
X	X
X	X
X	X

 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



**S9** Leave As Is - Clearance Panel

Leave existing clearance panel sign as is.




Drawing # **C78863**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND \_\_\_  
Drive/Clients/ CSTM \_\_\_  
 AS  CR  EN

Revisions:	
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____

 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



**S10** Leave As Is - Clearance Sign Pole

Leave existing clearance sign as is.




Drawing # **C78863**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND \_\_\_  
Drive/Clients/ CSTM \_\_\_  
 AS  CR  EN

Revisions:	
X	___
X	___
X	___
X	___
X	___
X	___

 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



**S11**

**Leave As Is**

No action required.




Drawing # **C78863-1**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND \_\_\_  
Drive/Clients/ CSTM \_\_\_  
 AS  CR  EN

Revisions:	
Updated to leave as is   AD   5.30.23	X
X	X
X	X
X	X
X	X
X	X

 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.





**S12**

**Leave As Is - ATM**

Leave existing ATM as is.



Drawing # **C78863**  
OE **6372**

Address: 201 Allen Street  
City/ST: Random Lake, WI

Date: 4-18-2023  
Designer: PV PM: BH

File Location: STND \_\_\_  
Drive/Clients/ CSTM \_\_\_  
 AS  CR  EN

Revisions:	
X	_____
X	_____
X	_____
X	_____
X	_____
X	_____

 Underwriters Laboratories, Inc.  
Sign components to be in strict UL compliance.

All dimensions are imperial unless specified metric. Items are scaled as noted when printed on an 11x17 sheet.



CODES

Contact: Stephanie Waala  
Title: Clerk/Treasurer  
Phone: 920-994-4852  
Email: clerktreasurer@randomlakewi.com  
Website: https://www.randomlakewi.com/

Municipality:  
Zone Class: C=1  
Codes Entry: 2023-04-19  
Entered By:

Comment:

Review Process (Days,Weeks):  
Permit Fee:

Permit Expiration:  
Variance Allowed(?):

Comment:

Pylon:  
SQ Footage:  
Max Height:

Max Allowed:  
Setback:

Comment:

Monument:  
SQ Footage:  
Max Height: 6ft

Max Allowed: 1  
Setback: 8ft

Comment: Ground signs. Structure of sign not to exceed ten feet in length and six feet in height. Structure top not to exceed eight feet in height from mean centerline of road. Structure setback a minimum of ten feet from front lot line. Structure setback a minimum of 25 feet from side lot lines. Sign itself not to exceed 24 square feet in size. Sign to be indirectly lit. No flashing or blinking lights permitted. One ground sign permitted per business.

Wall:  
SQ Footage: 24  
Max Height: 10ft

Max Allowed: 1

Comment: Building signs/wall signs. Sign shall be mounted parallel to wall. Sign shall extend no more than one foot outward from wall. Sign not to exceed 24 square feet in size. Sign shall not exceed ten feet in height. Sign shall not protrude beyond ends of building. Sign shall not have flashing or blinking lights. One wall sign permitted per business.

Directional:  
SQ Footage:  
Max Height:

Max Allowed:  
Logo Allowed:

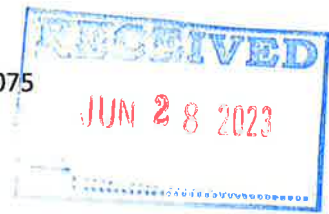
Comment: No codes found- see docs

Graphic/Vinyl:  
SQ Footage:  
Percentage Allowed:

Max Allowed:



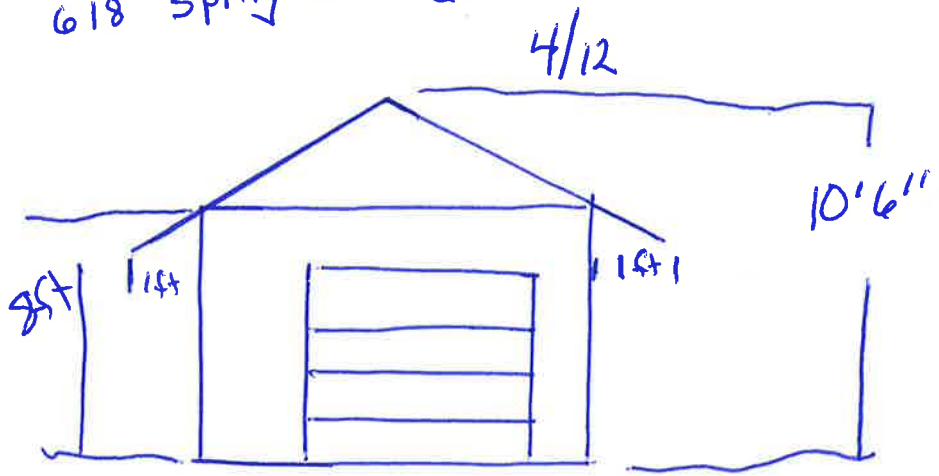
P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075  
 Phone: (920) 994-4852 • Fax: (920) 994-2390



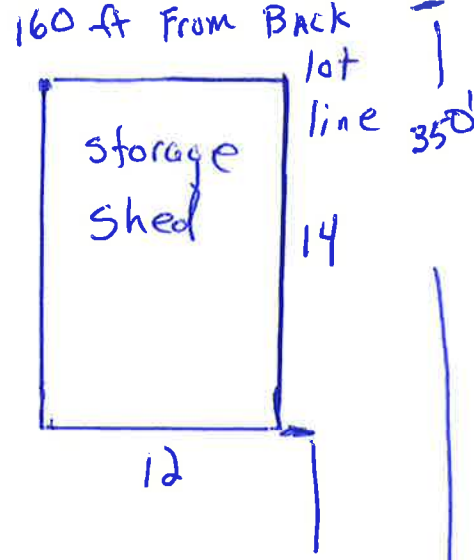
## Building Permit Application

Job Location <i>(identify exact address)</i>			Permit#		
Owner's Name <b>Keith Palmer</b>		Phone Number <b>920-627-6243</b>	Contact's Name <i>(When Relevant)</i>		Phone Number
Owner's Address <i>(if different from above)</i> <b>618 Spring Ct</b>			City <b>Random Lake</b>	State <b>WI</b>	Zip Code <b>53075</b>
Contractor's Name		License Number	Contractor's Contact Name		Phone Number
Contractor's Address			City	State	Zip Code
It is the responsibility of the permit holder to arrange for appointment times when entry is available for the required inspections. If the inspector cannot access the work site or if the work is not visible, a re-inspection fee will be charged.					
<b>Use of Building</b>	<b>Type of Work</b>	<b>Item</b>	<b>Size/Qty.</b>	<b>Fee</b>	<b>Amount</b>
<input type="checkbox"/> Residential	<input type="checkbox"/> New	Residence (One & Two Family)		.30/sq. ft.	
<input type="checkbox"/> Multi-Family	<input type="checkbox"/> Addition	Residential Additions		.30/sq. ft.	
	<input type="checkbox"/> Alteration/Repair	Attached/Detached Garage		.25/sq. ft.	
		Plan Review: House & Garage		.12/sq. ft.	
		State Permit Seal (\$33.00 (State fee) + \$10.00)		\$43.00	
		Occupancy Permit (House & Garage)		.05/sq. ft.	
		Remodeling (Includes Plan Review)		.20/sq. ft.	
		Erosion Control		150.00	
		Decks & Porches		.20/sq. ft.	
		Storage Sheds	1	30.00	
		Re-Roof		50.00	
		Re-Siding		50.00	
		Swimming Pools (above ground/in ground/spas)		80.00	
		Fence		30.00	
<b>Required for exterior design, appearance and location (fences, accessory buildings, decks, porches, pools, etc.)</b>		Plan Commission/Architectural Review Board Fee	1	280.00	<b>280.00 pd</b>
		Expedited Meeting Fee (Nonrefundable)		100.00	
		Re-inspection Fee		75.00	
<b>NOTES:</b>					
Separate permits are needed for Electrical, HVAC, & Plumbing					
If any work is commenced before a building permit is obtained, all of the above fees shall be doubled.					
All calculations for square footage area are outside dimensions.					
I attest that the above information accurately describes the property and proposed work to be performed on it. I agree to comply with all Village of Random Lake and State of Wisconsin codes applicable to the occupancy and work stated above. I understand that any false misinformation may result in penalties prescribed in the Village of Random Lake ordinances.				<b>SUB TOTAL:</b>	
<b>BASE FEE (add to subtotal):</b>				<b>\$40.00</b>	
Applicants Signature: 		Applicants Name: <b>Keith Palmer</b>		Permit Total:	
<b>OFFICE USE ONLY</b>				Date	
Permit Paid By: <b>ARC Committee fee pd cc#39013133 280.00 6/28/23</b>					

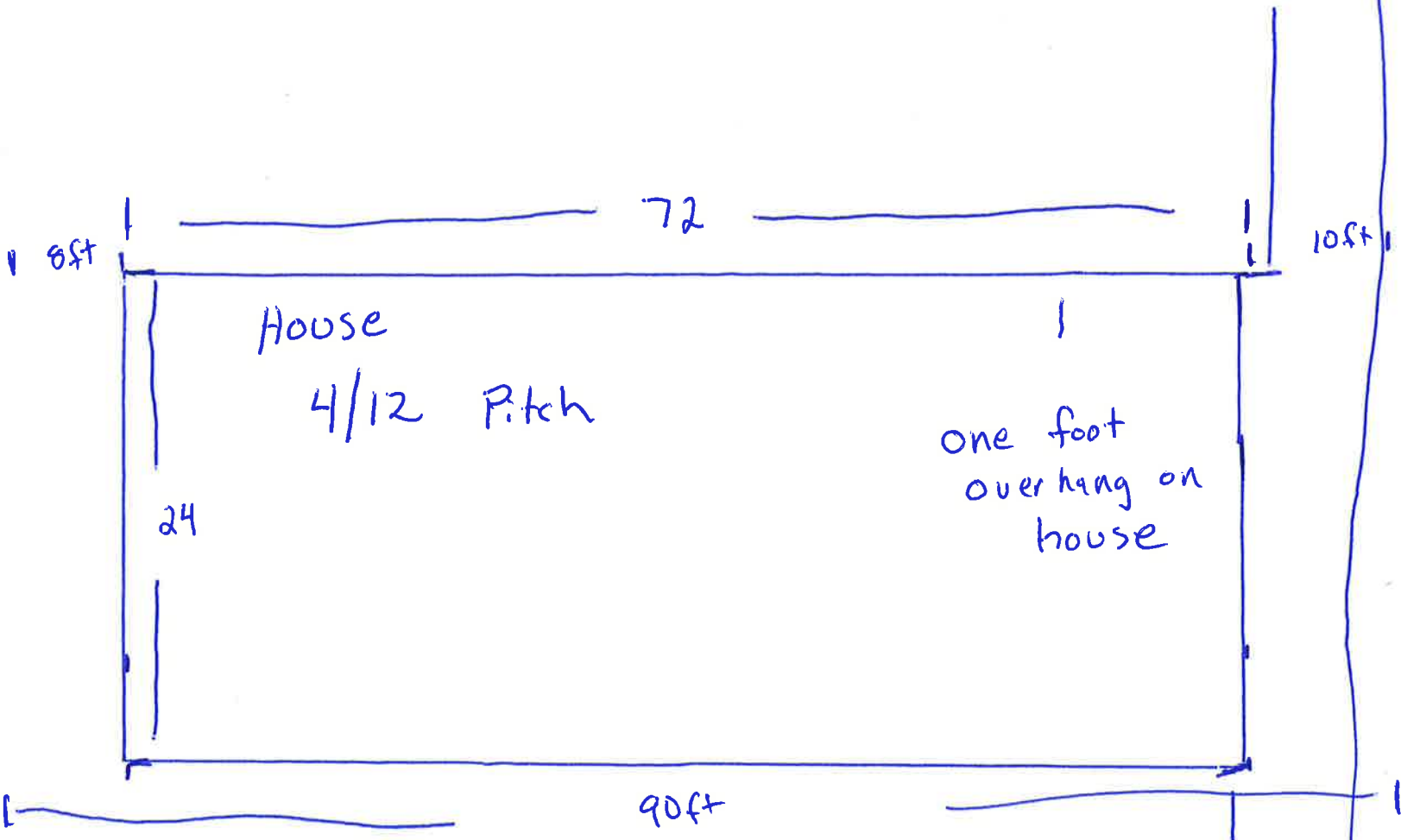
Siding > match House  
 roof  
 soffit  
 Keith Palmer  
 618 Spring Ct  
 Facia door



Front view

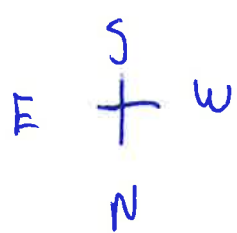


110ft



House  
 4/12 Pitch

one foot overhang on house



road

Keith Palmer

618 Spring St

Siding - Double 4 - Vinyl  
T&W horizontal

Soffit + Fascia  
Dark Brown > Aluminum

Shingles Brown - Dimensional

GARAGE DOOR - DARK BROWN  
raised Panel (no windows)

All to match house

Download Full screen Print

Hide email



House

LP Lynn Palmer  
To: You

Fri 7/14/2023





LP Lynn Palmer  
To: You

Navigation icons  
Fri 7/14/2023 6:29 PM

