

P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Building Permit Application

Job Location (identify exact address) <i>509 E. Shore Dr.</i>			Permit#		
Owner's Name <i>Curt & Robin Barclay</i>		Phone Number <i>206-550-6005</i>	Contact's Name (When Relevant) <i>Dan Mondloch</i>		Phone Number <i>920-838-1290</i>
Owners Address (if different from above)			City <i>Random Lake</i>	State <i>WI</i>	Zip Code <i>53075</i>
Contractor's Name <i>Midway Systems Inc</i>		License Number	Contractor's Contact Name <i>Dan Mondloch</i>		Phone Number <i>920-838-1290</i>
Contractor's Address <i>W4876 Midway Lane</i>			City <i>Random Lake</i>	State <i>WI</i>	Zip Code <i>53075</i>
It is the responsibility of the permit holder to arrange for appointment times when entry is available for the required inspections if the inspector cannot access the work site or if the work is not visible, a re-inspection fee will be charged.					
Use of Building	Type of Work	Item	Size/Qty.	Fee	Amount
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> New	Residence (One & Two Family)		.30/sq. ft.	
<input type="checkbox"/> Multi-Family	<input checked="" type="checkbox"/> Addition	Residential Additions		.30/sq. ft.	
	<input type="checkbox"/> Alteration/Repair	Attached/Detached Garage <i>10'x24'-1"</i>	<i>241 #</i>	.25/sq. ft.	<i>60.25</i>
		Plan Review: House & Garage	<i>241 #</i>	.12/sq. ft.	
<i>3 Season Porch Attached to Detached Garage</i>		State Permit Seal (\$33.00 (State fee) + \$10.00)		\$43.00	
		Occupancy Permit (House & Garage)		.05/sq. ft.	
		Remodeling (Includes Plan Review)		.20/sq. ft.	
		Erosion Control	<i>N.A.</i>	150.00	
		Decks & Porches		.20/sq. ft.	
		Storage Sheds		30.00	
		Re-Roof		50.00	
		Re-Siding		50.00	
		Swimming Pools (above ground/in ground/spas)		80.00	
		Fence		30.00	
Required for exterior design, appearance and location (fences, accessory buildings, decks, porches, pools, etc.)		Plan Commission/Architectural Review Board Fee		280.00	<i>280.00</i>
		Expedited Meeting Fee (Nonrefundable)		100.00	
		Re-inspection Fee		75.00	
NOTES:					
Separate permits are needed for Electrical, HVAC, & Plumbing					
If any work is commenced before a building permit is obtained, all of the above fees shall be doubled.					
All calculations for square footage area are outside dimensions.					
I attest that the above information accurately describes the property and proposed work to be performed on it. I agree to comply with all Village of Random Lake and State of Wisconsin codes applicable to the occupancy and work stated above. I understand that any false misinformation may result in penalties prescribed in the Village of Random Lake ordinances.					SUB TOTAL:
BASE FEE (add to subtotal):					\$40.00
Applicants Signature: <i>[Signature]</i>			Applicants Name: <i>Dan Mondloch</i>		Permit Total:
OFFICE USE ONLY Permit Paid By:					Date:

D & H LAND SURVEYS

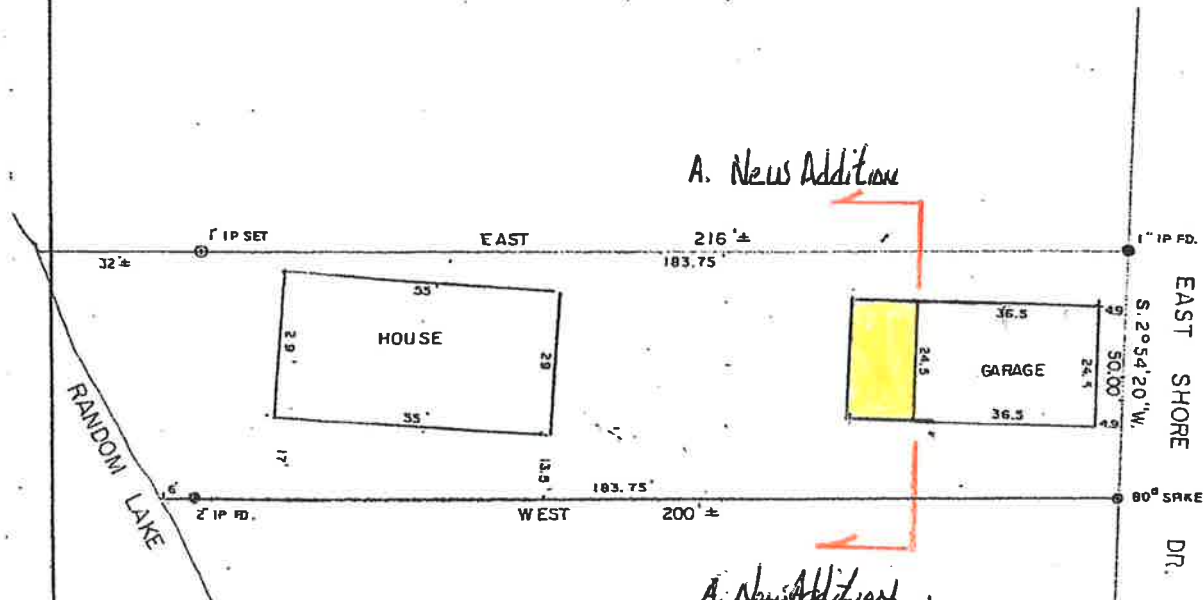
SHEBOYGAN, WISCONSIN

PLAT OF SURVEY

FOR DENNIS FEYEREISEN

Being a resurvey of lands owned by John Linder as described in Volume 807 on page 897 of records as:

Parcel 1: Comm at a pnt 2,260.00' W of the E line of Sec 35 and 485.75 ft N of the S line of the N $\frac{1}{2}$ of Govt Lot 2, th W 200.00' M/L to the E shore of Random Lake, th Nly alg sd shore line of Random Lake to a pnt 535.75' N of the S line of the N $\frac{1}{2}$ of sd Govt Lot 2, th E 200.00' M/L to a pnt which is 2,260.00' W of the E line of Sec 35, th S 50.00' to the place of beg.



Curt & Robin Barclay

SURVEYOR'S CERTIFICATE

I hereby certify that I have surveyed the above described property and that the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and visible encroachments, if any.

This survey is made for the use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof.

FILED: 8-10-87
SHEBOYGAN COUNTY
REAL PROPERTY

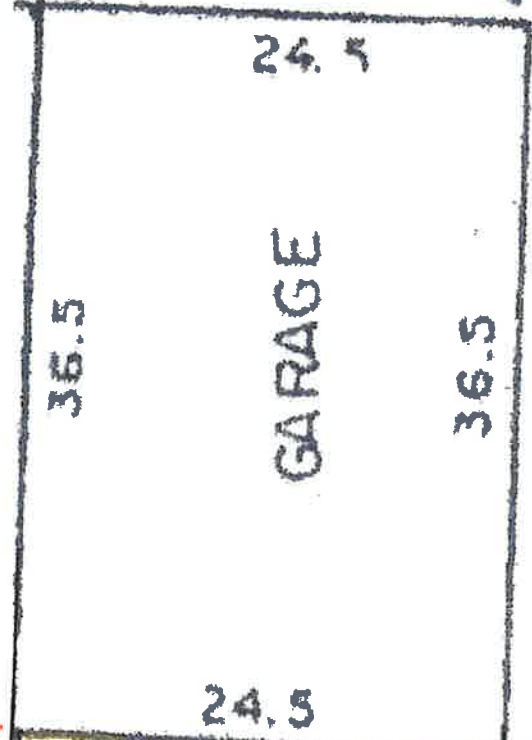


216' ±
3.75

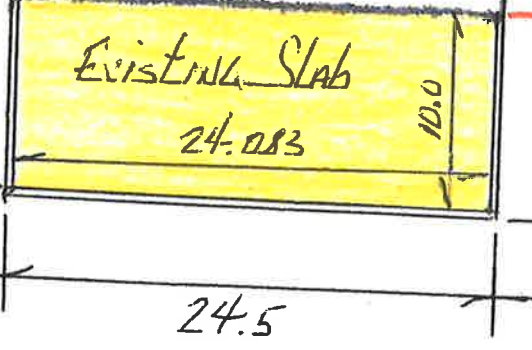
S. 2° 54' 20" W.

80° S

4.9 50.00 4.9



A. New Addition



10.1666

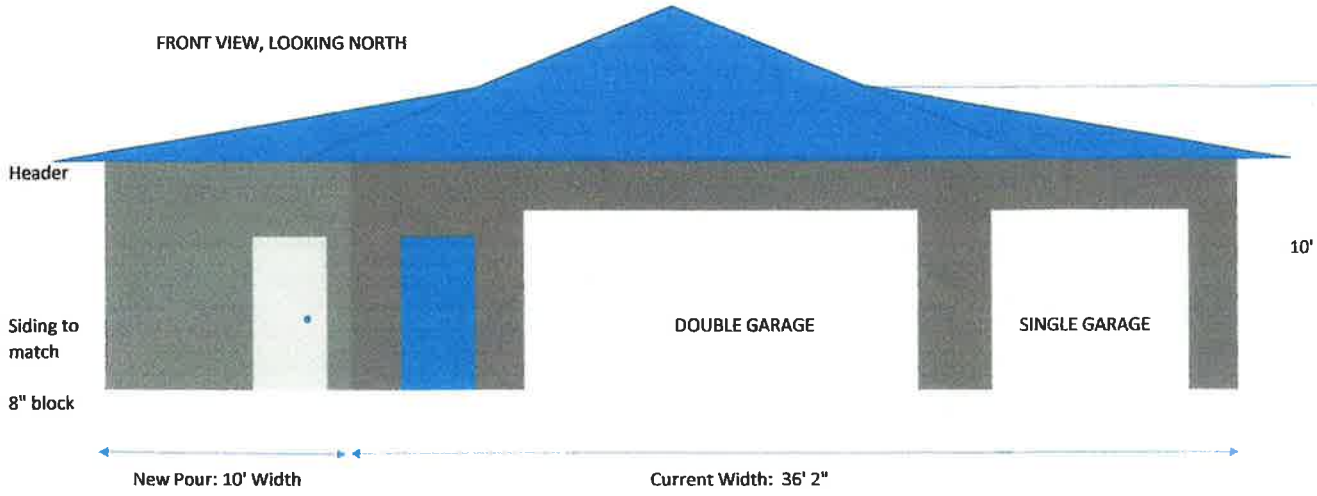
A. New Addition

New 3 Season Porch

0' ±

Current overhead dimensions: 36' 2" wide, 24' 1" deep

FRONT VIEW, LOOKING NORTH

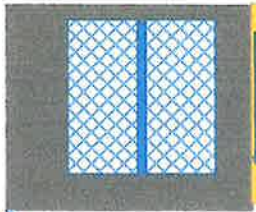


VIEW FROM LAKE SIDE, LOOKING EAST

GUTTER/DOWNSPOUT

NW corner

SW corner



END VIEW, LOOKING SOUTH

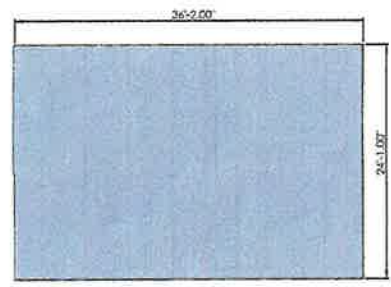
NE CORNER
where attaches to existing garage

INSIDE: East wall remains as is, exterior siding
 North, south and west walls are 2x4 construction
 - No interior insulation or finish siding/wallboard
 - Concrete floor
 - Ceiling remains open construction also

Existing Garage Area	<u>871.05 sq ft</u>
New Addition Area	<u>240.84 sq ft</u>
Total new garage w/ 3 season porch	<u>1,111.89 sq ft</u>
60% of Home area	1447 sq ft
Home area 2412 sq ft	



SCALE 1:100



EXISTING FOUNDATION

EXISTING GARAGE AREA
871.05 Sq Ft



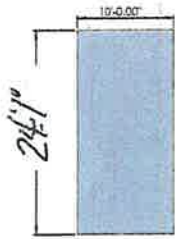
EXISTING BUILD

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	DATE: _____ TIME: _____ LOCATION: _____ PROJECT: _____ DRAWING NO: _____	MATERIAL: _____ METHOD: _____ TESTS: _____		
	ALL DIMENSIONS IN FEET UNLESS OTHERWISE SPECIFIED	ALL DIMENSIONS IN FEET UNLESS OTHERWISE SPECIFIED		
	DIMENSIONS SHOWN SHALL BE USED UNLESS OTHERWISE SPECIFIED	DIMENSIONS SHOWN SHALL BE USED UNLESS OTHERWISE SPECIFIED		

CnR-00-2000 A

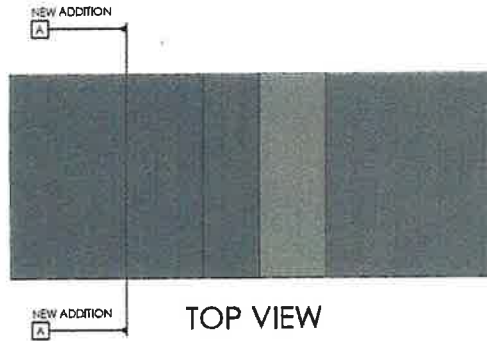
SCALE 1:75 | DO NOT SCALE | SHEET 1 OF 2

PRINTED ON 11/16/2022



CONCRETE

NEW ADDITION AREA
240.84 Sq Ft



TOP VIEW



SCALE 1:100

- 16" OC WALLS
- 24" OC TRUSSES X/XX PITCH
- 2"X4" FRAMING
- DOUBLE TOP PLATE
- HURRICANE/SEISMIC RAFTER TO STUD ANCHOR
- 7/16" OSB
- HOUSE WRAP
- ASPHALT SHINGLES
- UNDERLAYMENT, ICE/WATER BARRIER
- GUTTERS/ METAL FLASHING DRIP EDGE
- SILL PLATE/PRESSURE TREATED BOTTOM PLATE

Perimeter Grade Beam (Photos Included)
PROPOSED BUILD



N. SIDE ADDITION



W. SIDE ADDITION



S. SIDE ADDITION WITH EXISTING GARAGE



W. SIDE EXISTING

SCALE THIS DOCUMENT IS PROPRIETARY PROPERTY OF ENGINEERING CONSULTANTS, INC. AND SHALL BE USED ONLY FOR THE PROJECT FOR WHICH IT HAS BEEN ISSUED AND IT IS TO BE RETURNED IMMEDIATELY UPON COMPLETION. THIS DOCUMENT SHALL NOT BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF ENGINEERING CONSULTANTS, INC.	INSURANCE/LEADS CHEVROLET/SAFARI	DRAWN BY MATERIAL	DATE	SHEET NO. A
SURFACE MEDIA CHECKED BY DATE	DIMENSIONAL LIMITS APPLY AFTER FINISH	DATE 10/10/11	HEAT TREAT	CnR-00-2000
SCALE: 1/75	DO NOT SCALE	SHEET: 2 OF 2	PRINTED ON: 8/18/2012	



* Poured Last Fall - Didn't know if 3 season porch
would be built for a couple years
(Photos shows) 12" Perimeter Grade Beam (Anchor to Exist)
2-#5 Co-Rod @ Perimeter
Hixson WAY Mesh 1/4" - Labak Mix.

Poured by Midway Systems Inc.
Poured 10-14-22



Sec. 38-68. - R-1 Single-Family Residential District.

The R-1 district is intended to provide a quiet, pleasant and relatively spacious living area for single-family dwellings, protected from traffic hazards and intrusion of incompatible land uses.

(1) *Permitted uses.*

- a. One-family dwellings.
- b. Two- and three-family dwellings existing on the effective date of the ordinance from which this division is derived.

(2) *Conditional uses.*

- a. Churches, synagogues and similar places of worship and instruction, including parsonages.
- b. Municipal buildings, except sewerage disposal plants, garbage incinerators, public warehouses, public garages, public shops and storage yards and penal or correctional institutions and asylums.
- c. Utility offices, provided there is no service garage or storage yard.
- d. Public, parochial and private elementary and secondary schools.
- e. Public parks, recreation areas, playgrounds and village centers.
- f. Home occupations and professional offices.

(3) *Lot, yard and building requirements.*

- a. Lot frontage minimum: 80 feet.
- b. Lot size: 10,000 square feet.
- c. Principal building:
 1. Front yard minimum depth: 25 feet.
 2. Side yards minimum: total, 15 feet; minimum side, seven feet.
 3. Rear yard minimum: 25 feet.
 4. Building height maximum: 35 feet.
 5. Floor area minimum:
 - (i) Single-story dwelling: 1,500 square feet.
 - (ii) Bi-level, tri-level or two-story dwelling: 1,000 square feet, on ground floor, with a total minimum of 1,700 square feet.
 - (iii) Dwellings existing on the effective date of March 1, 2004: 1,200 square feet.
- d. Accessory buildings:
 1. General.
 - (i) Front yard minimum: 25 feet plus depth of principal building.

(ii) Side yards minimum: five feet.

(iii) Rear yard minimum: five feet.

2. Garage.

(i) Maximum area: 1,000 square feet, or 60 percent of building area, whichever is greater.

(ii) Minimum area: 500 square feet.

(iii) Every dwelling unit shall have a garage, which shall be completed before occupancy.

(iv) Detached garages may not have living quarters above. Wall height shall not exceed ten feet, roof pitch cannot exceed the pitch of principal building.

(v) Attached garages may have living quarters above. Total height of attached garages cannot exceed 35 feet.

(vi) No garage shall be constructed with exterior metal walls. However, metal siding is permitted, so long as each horizontal siding panel does not exceed a maximum width of 12 inches.

(vii) Each dwelling unit shall not have more than one garage.

3. Garden shed.

(i) Maximum area: 180 square feet.

(ii) Building height maximum: 15 feet.

(iii) Only one garden shed per dwelling unit. Two garden sheds, one at street level with a five-foot setback and one at lake level, are allowed only on the following properties due to topographical features of the lot: 77 Hwy. 144, 79 Hwy. 144, 75 Hwy. 144, and all properties with lake frontage on Stark Road to the east end as it exists or may be extended.

(iv) Sheds constructed exclusively from metal or plastic materials or constructed with a barn style roof are prohibited.

(v) All sheds must be architecturally compatible with the exterior appearance of the main structure or building.

e. Off-street parking: minimum two spaces per unit.

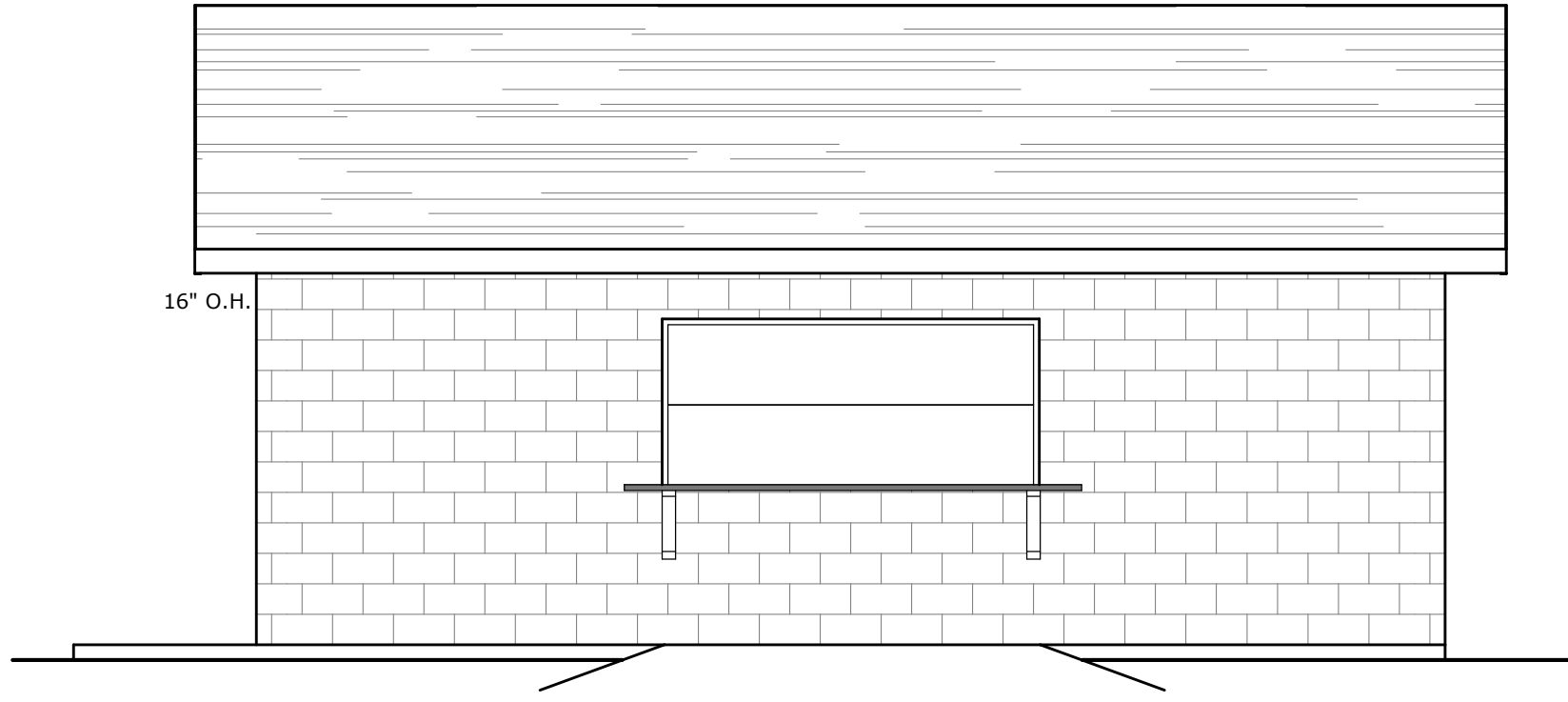
(4) *Driveways and driveway curb cuts.*

a. All driveways must be hard surfaced and constructed within one year of occupancy. The term "hard surfaced" shall be defined as concrete, asphalt or brick paving. Additionally, a driveway apron, consisting of the first five feet of driveway extending onto the property

from a public roadway shall be constructed from concrete, shall be at least six inches thick and shall be constructed with tapered sides. No property shall have more than one driveway.

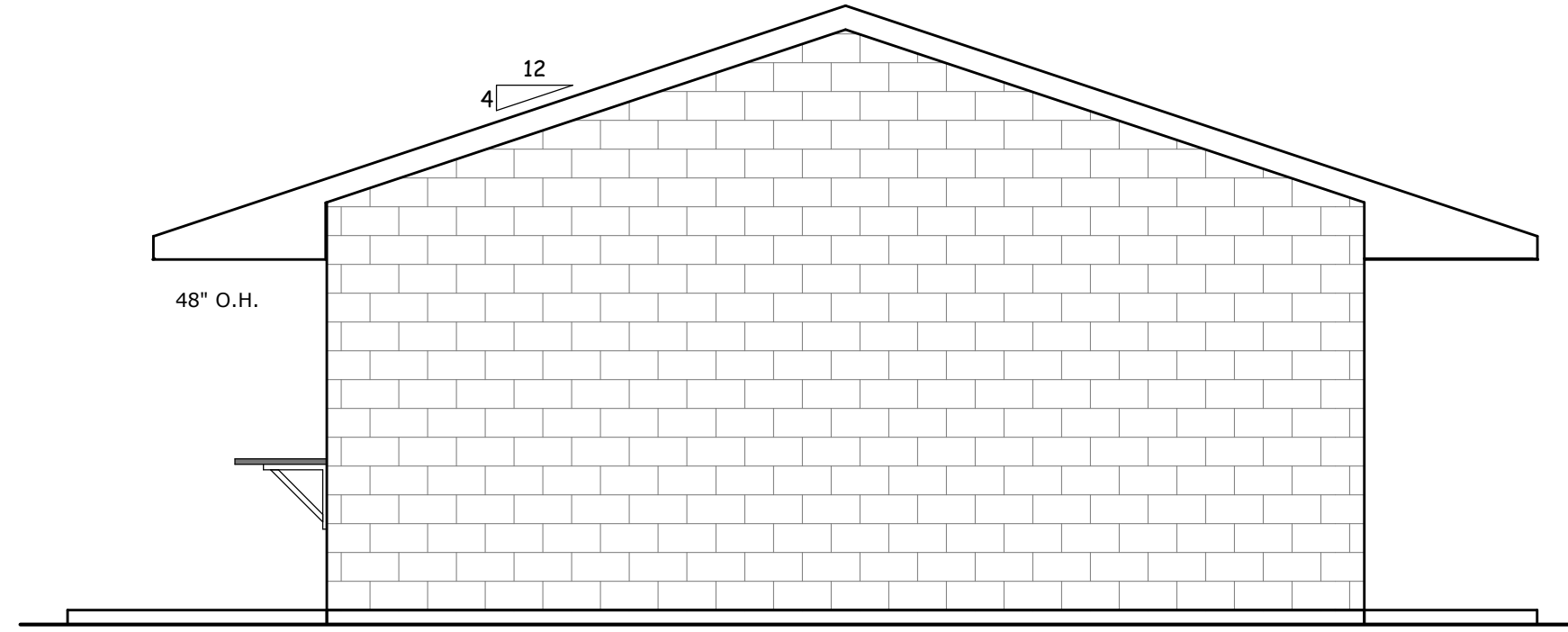
- b. Plans for driveways and curb cuts shall be submitted as part of the plot plan for review by the architectural review board. Curb cuts shall be made prior to commencement of any construction. Curb cuts shall be saw cut or full replacement of curb shall be required. No mounding of dirt or gravel in the gutter shall be allowed to provide access to the construction site.

(Ord. No. 1-04, § 1, 3-1-2004; Ord. No. 6-04, § 1, 8-2-2004; Ord. No. 6-2015, 7-6-2015; Ord. No. 06-2016, 7-18-2016; Ord. No. 2021-03, § 1, 4-5-2021; Ord. No. 2022-01, § 1, 8-15-2022)



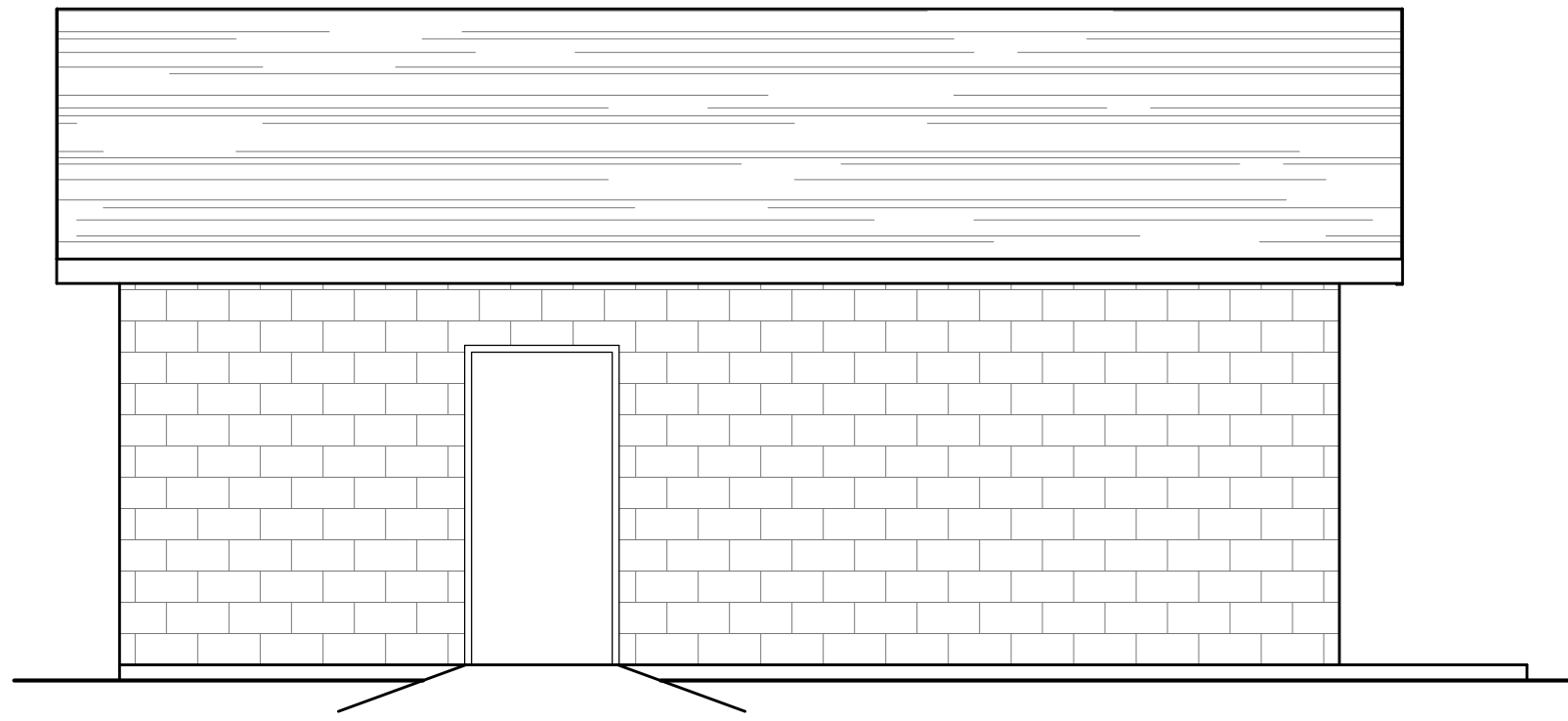
FRONT ELEVATION

1/4" = 1'-0"



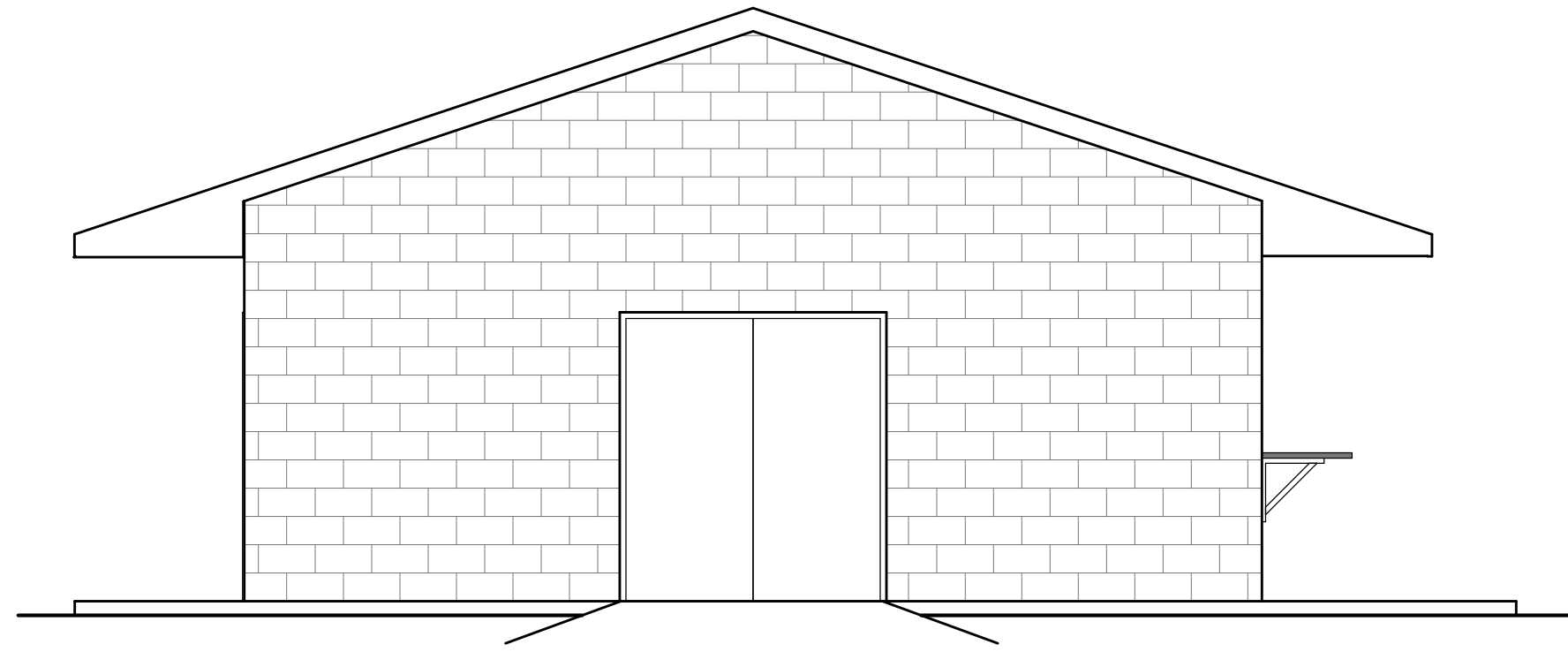
RIGHT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

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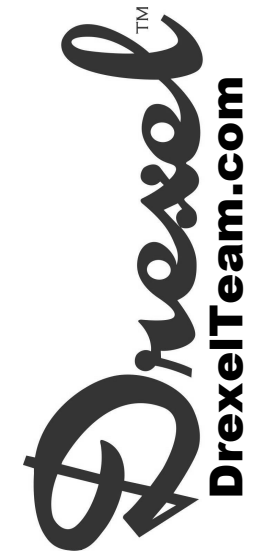
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PRELIMINARY PLAN
 5/23/2023
 JW

**RANDOM LAKE
 CONCESSION STAND**

PROJECT ADDRESS: RANDOM LAKE,
 WI

CONTRACTOR: MIKE
 SANFELIPPO



DESIGNER: JW
 SCALE: 1/4" = 1'-0"
 SHEET NO: **A1**
 PROJECT NO: G23-208-K

