



Architectural Review Board Meeting
Monday, April 3, 2023
6:15 p.m.

LOCATION OF MEETING: 96 RUSSELL DRIVE

Meeting Minutes

1. Call to Order, Roll Call: Chariman San Felippo called the meeting to order at 6:15pm. Commission members present included Mike San Felippo, Elizabeth Manian, Barbara Ruege, John Schluechtermann, Randy Soerens, and Steve Masslich. Village employees present were Deputy Clerk/Treasurer Carissa Jaycox, and Director of Public Works Peter Lederer. For additional attendees see attached sign in sheet.

2. Discussion and Possible Action to approve the minutes of the March 20, 2023, meeting.

Member Masslich made a motion to approve as submitted, motion seconded by Member Schluchtermann. Motion carried unanimously.

3. Discussion and Possible Recommendation to the Village Board on the construction of a new home at 520 Lake Breeze Ln.

Chairman San Felippo reviewed that the home did not previously meet the points, and since received a letter informing the committee of updates to meet the criteria needed. Member Soerens noted the permit application had incorrect address. Chairman San Felippo confirmed that it will be changed to reflect correct address.

Member Schluchtermann made the motion to recommend approval to the Village Board as re-submitted, motion was seconded by Member Ruege. Motion passed unanimously.

4. Adjourn: meeting was adjourned at 6:18 pm.

Items on the Agenda may be taken out of order as listed. Posted to all village posting locations on 03/31/2023.

WI Open Meeting Law (Wis. Stat. 19.83(2) and 19.84(2)) In general, the open meetings law grants citizens the right to attend and observe open session meetings of governmental bodies but does not require a governmental body to allow members of the public to speak or actively participate in the body's meeting. A governmental body is free to determine for itself whether and to what extent it will allow citizen participation at its meetings.



Architectural Review Board Meeting
Monday, May 1, 2023
6:15 p.m.

LOCATION OF MEETING: 96 RUSSELL DRIVE

Meeting Minutes

1. Call to Order, Roll Call: Chairman San Felippo called the meeting to order at 6:15pm. Commission members present included Mike San Felippo, Elizabeth Manian, Barbara Ruege, John Schluechtermann, and Randy Soerens. Village employees present were Clerk/Treasurer Stephanie Waala and Director of Public Works Peter Lederer. For additional attendees see attached sign in sheet.

Let it be know there was quorum of the village board as Trustee Duane Urbanski and Jeff Schultz were present.

2. Discussion and Possible Recommendation to the Village Board on the installation of a new fence at 126 E Shore Dr.

No questions were asked of the submitted plans.

Member Soerens made a motion to recommend as submitted; motion was seconded by Member Ruege. Motion carried 6-0.

3. Adjourn: meeting was adjourned at 6:17 pm.

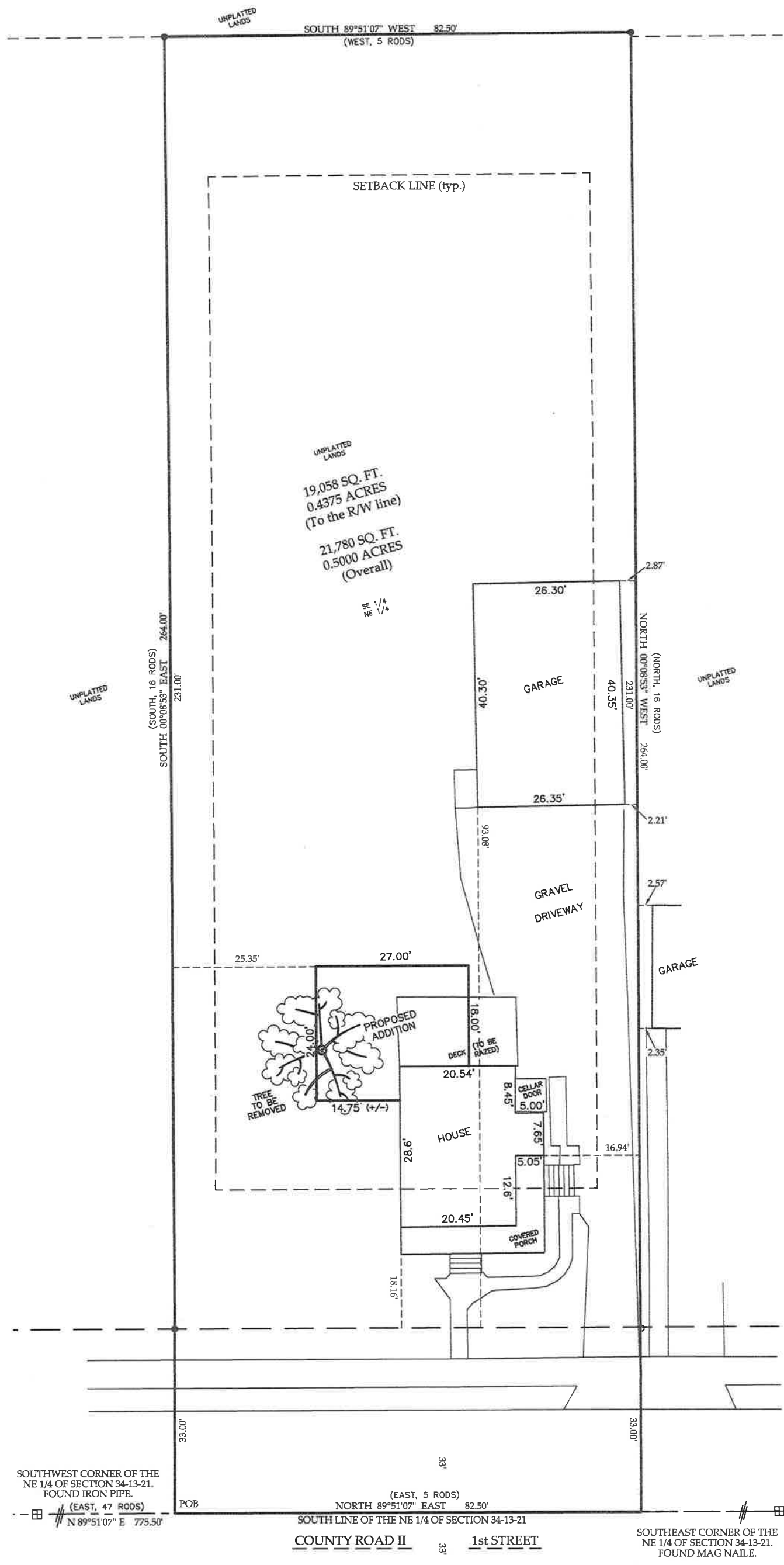
Items on the Agenda may be taken out of order as listed. Posted to all village posting locations on 05/17/2023.

WI Open Meeting Law (Wis. Stat. 19.83(2) and 19.84(2)) In general, the open meetings law grants citizens the right to attend and observe open session meetings of governmental bodies but does not require a governmental body to allow members of the public to speak or actively participate in the body's meeting. A governmental body is free to determine for itself whether and to what extent it will allow citizen participation at its meetings.

PLAT OF SURVEY

OWNERS:
 JANEL L. HUBACEK
 BRENT A. SCHICKER
 647 1ST STREET
 RANDOM LAKE, WI 53075

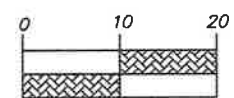
PART OF THE SW1/4 OF THE NE1/4 OF SECTION 34, TOWN 13 NORTH, RANGE 21 EAST, IN THE VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY, WISCONSIN, DESCRIBED AS: COMMENCING AT A POINT FORTY-SEVEN (47) RODS EAST OF THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION NUMBER THIRTY-FOUR (34) TOWNSHIP NUMBER THIRTEEN (13) NORTH, RANGE NUMBER TWENTY-ONE EAST (21) EAST, THENCE FIVE (5) RODS, THENCE SOUTH SIXTEEN (16) RODS, THENCE WEST FIVE (5) RODS, THENCE SOUTH SIXTEEN (16) RODS TO THE PLACE OF BEGINNING.



UNPLATTED LANDS
 19,058 SQ. FT.
 0.4375 ACRES
 (To the R/W line)
 21,780 SQ. FT.
 0.5000 ACRES
 (Overall)



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, SHEBOYGAN COUNTY (NAD83/91). THE SOUTH LINE OF NE 1/4 OF SECTION 34-13-21 BEARS NORTH 89°51'07" EAST.



LEGEND

- 1" IRON PIPE FOUND
 - 3/4" x 18" REBAR WEIGHING 1.13 LBS/FOOT SET.
- (RECORDED AS)

ZONED R-1
 SETBACKS:
 FRONT: 25 FEET
 SIDE: MINIMUM TOTAL: 15 FEET,
 MINIMUM SIDE, 7 FEET.
 (SHOWN: 7.5 FEET)
 REAR: 25 FEET

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNER OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE THE TITLE THERETO WITHIN 1 YEAR FROM THE DATE HEREON.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSION OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY, AND THAT I HAVE COMPLIED WITH WISCONSIN CHAPTER A-E 7.

SOUTHWEST CORNER OF THE NE 1/4 OF SECTION 34-13-21. FOUND IRON PIPE.

(EAST, 5 RODS)
 NORTH 89°51'07" EAST 82.50'
 SOUTH LINE OF THE NE 1/4 OF SECTION 34-13-21
 COUNTY ROAD II 1st STREET

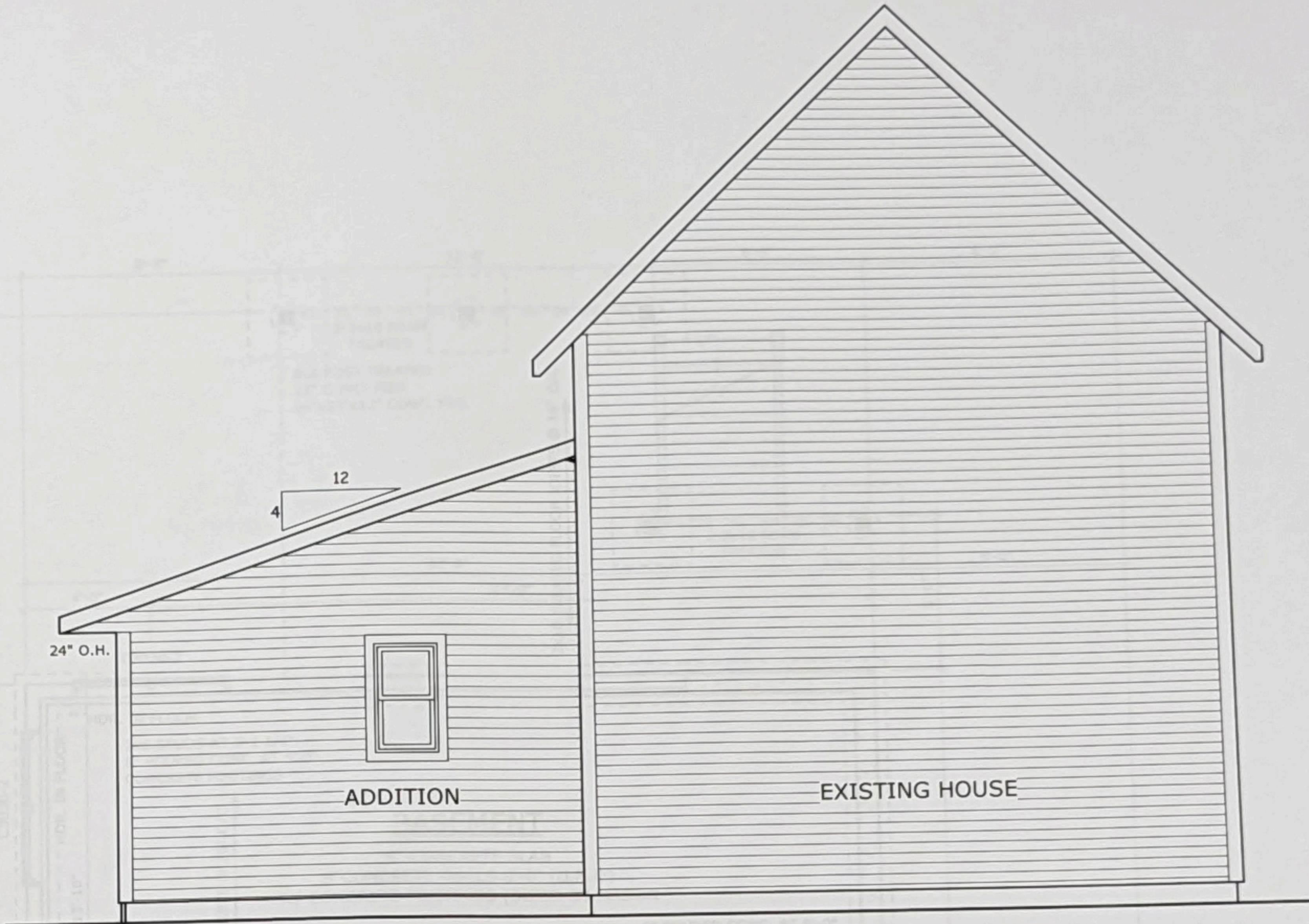
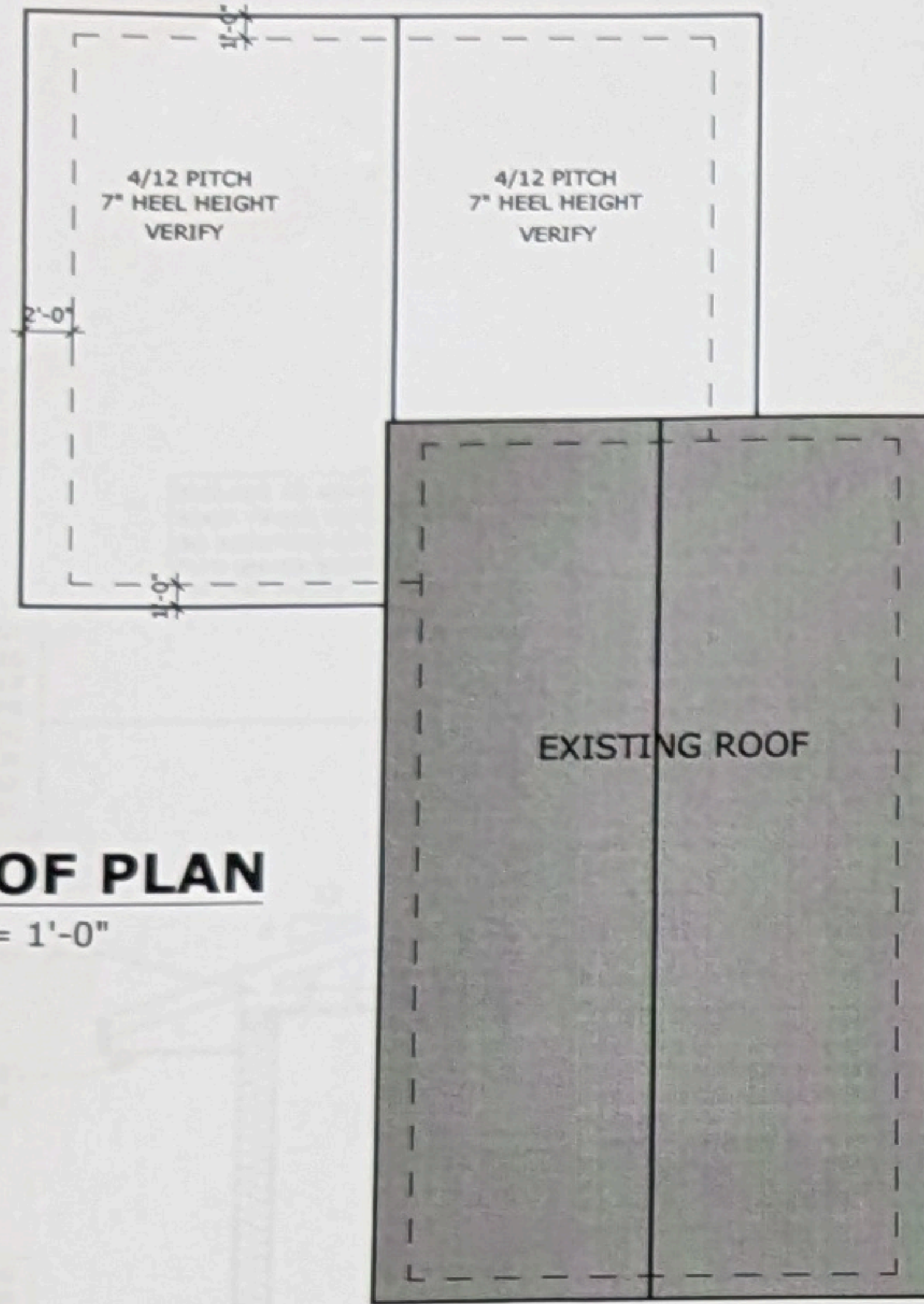
SOUTHEAST CORNER OF THE NE 1/4 OF SECTION 34-13-21. FOUND MAG NAIL.



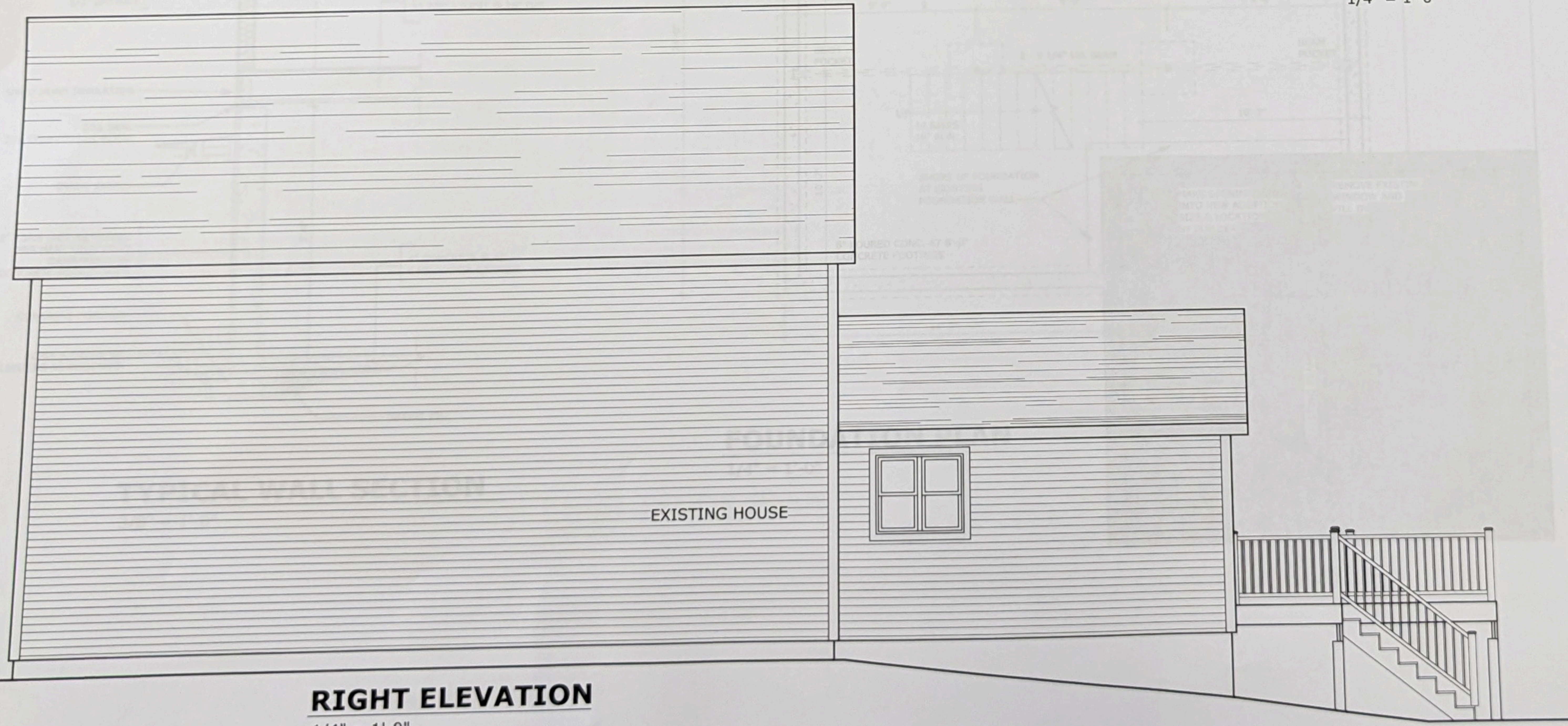
122 Wisconsin Street, West Bend, WI 53095
 262.346.7800 kparish@parishse.com
 FN: BS-25-23 Date: 5/10/23

SURVEYED BY JOSEPH W. DAVID
 MAPPED BY J. SCOTT HENKEL, PLS

ROOF PLAN
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

FINAL PLAN

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REVISION	DATE	BY	SA
1	4/3/2023		SA
2	4/18/2023		SA
3	4/20/2023		SA

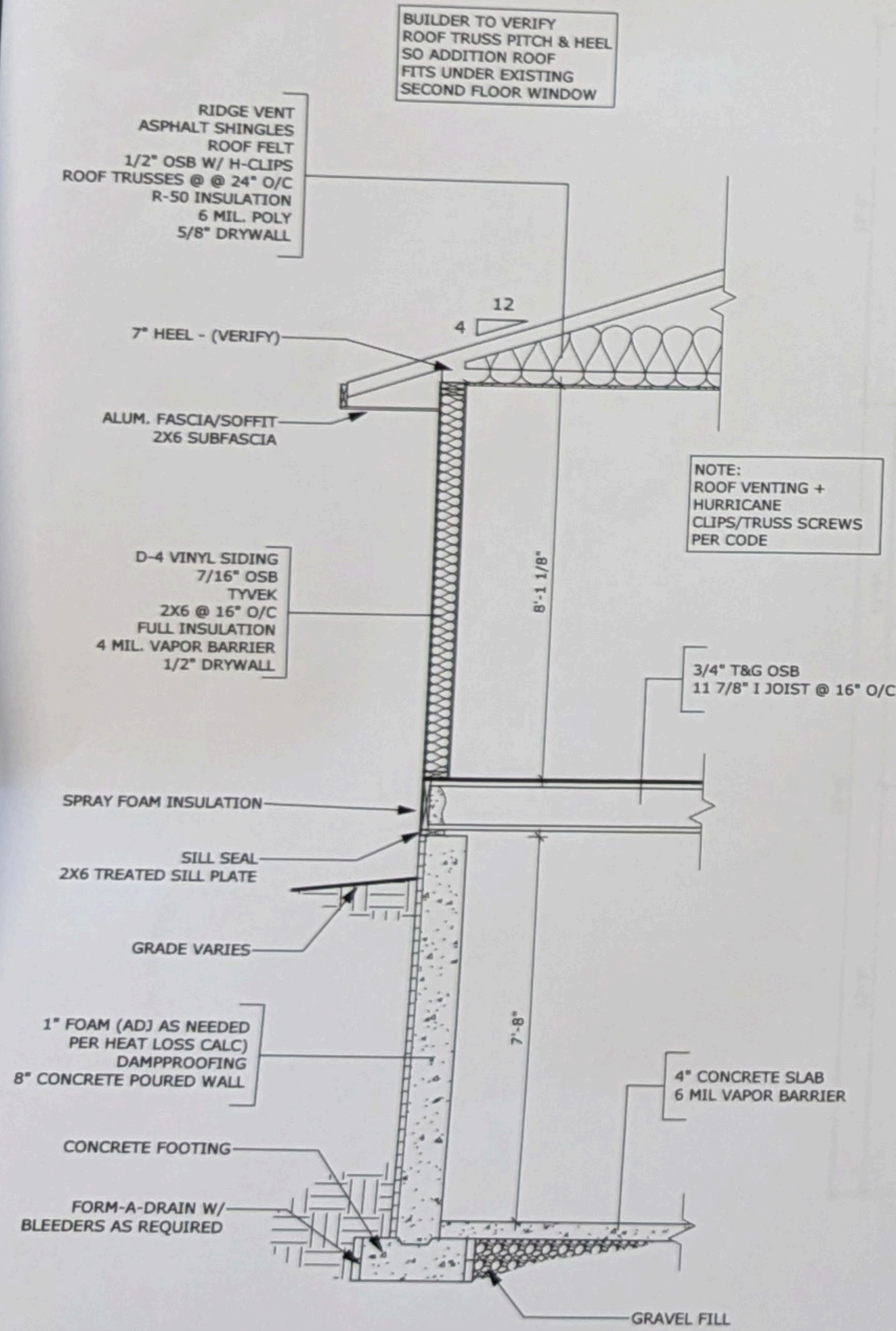
**BRENT & JANEL
SCHICKER RESIDENCE**

WAYNE KELLER

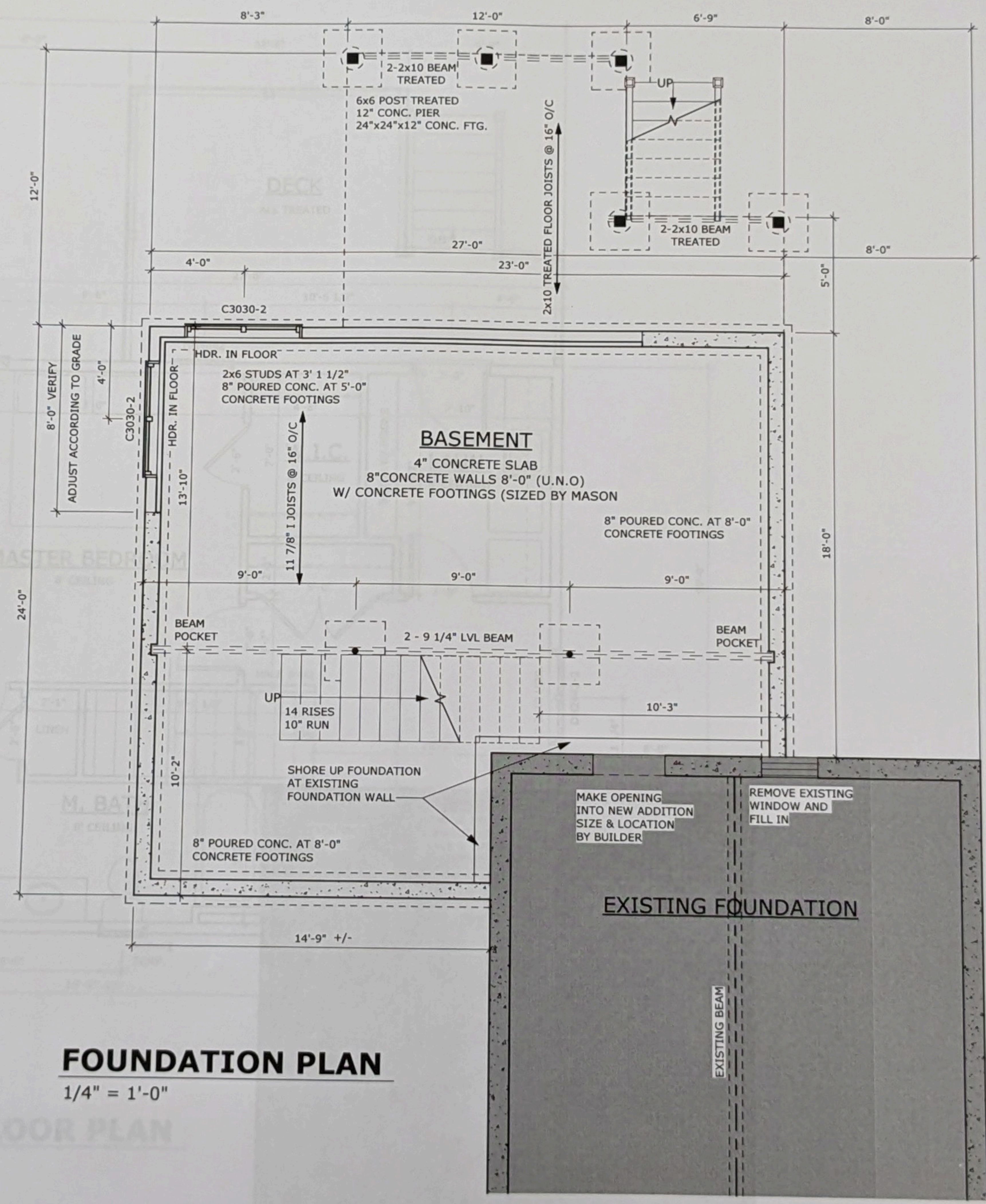
647 1st STREET
RANDOM LAKE, WI

Drexel™
DrexelTeam.com

DESIGNER: J. WASHATKO
SCALE: As indicated
SHEET NO: **A2**
PROJECT NO: A23-161-K



TYPICAL WALL SECTION
3/8" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

FINAL PLAN

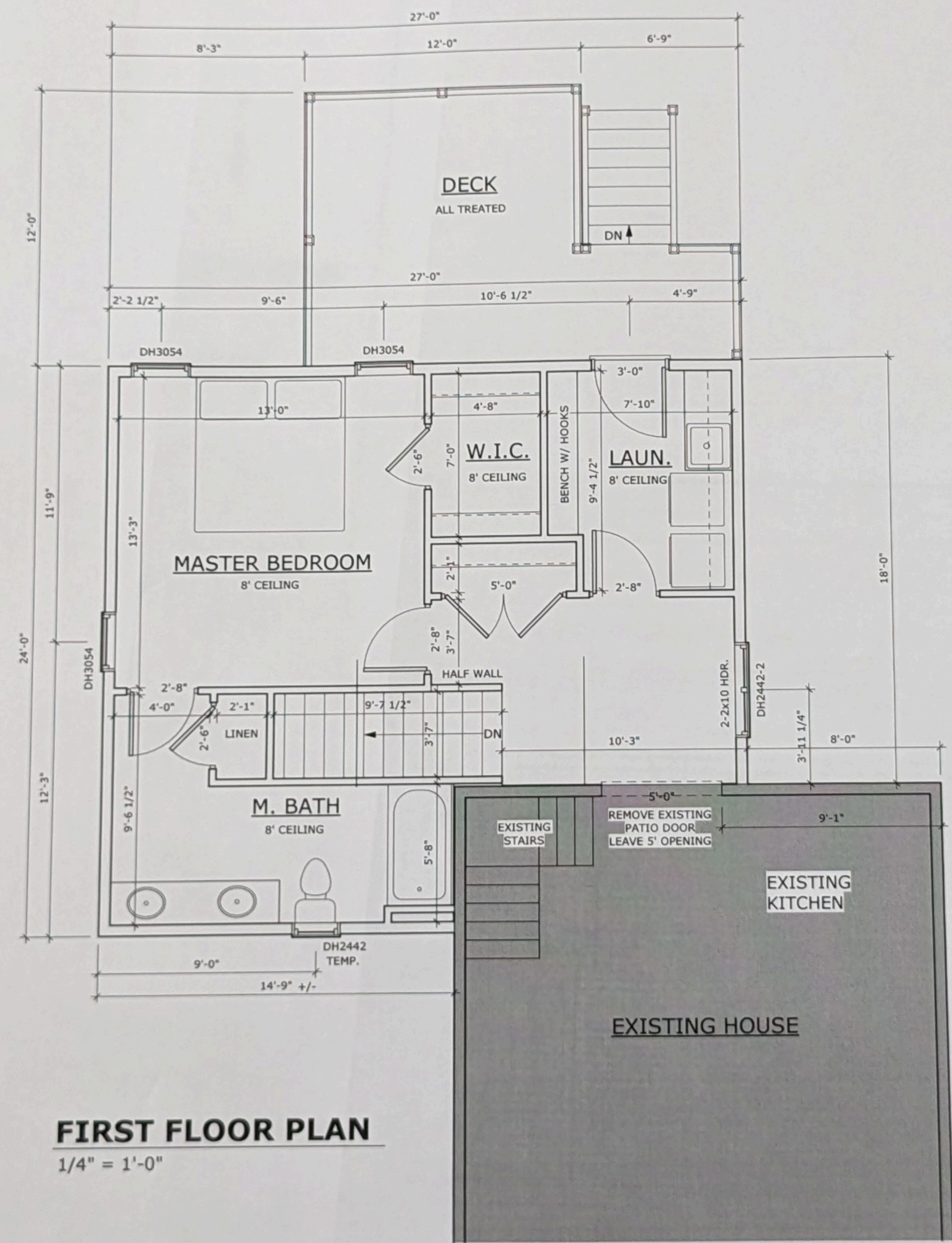
PRELIMINARY PLAN	4/3/2023	SA
BID PLAN	4/18/2023	SA
FINAL PLAN	4/20/2023	SA

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BRENT & JANEL SCHICKER RESIDENCE
WAYNE KELLER
647 1st STREET
RANDOM LAKE, WI

Drexel™
DrexelTeam.com

DESIGNER: J. WASHATKO
SCALE: As indicated
SHEET NO: **A3**
PROJECT NO: A23-161-K



FIRST FLOOR PLAN
1/4" = 1'-0"

ADDITION FLOOR AREA= 583 SF

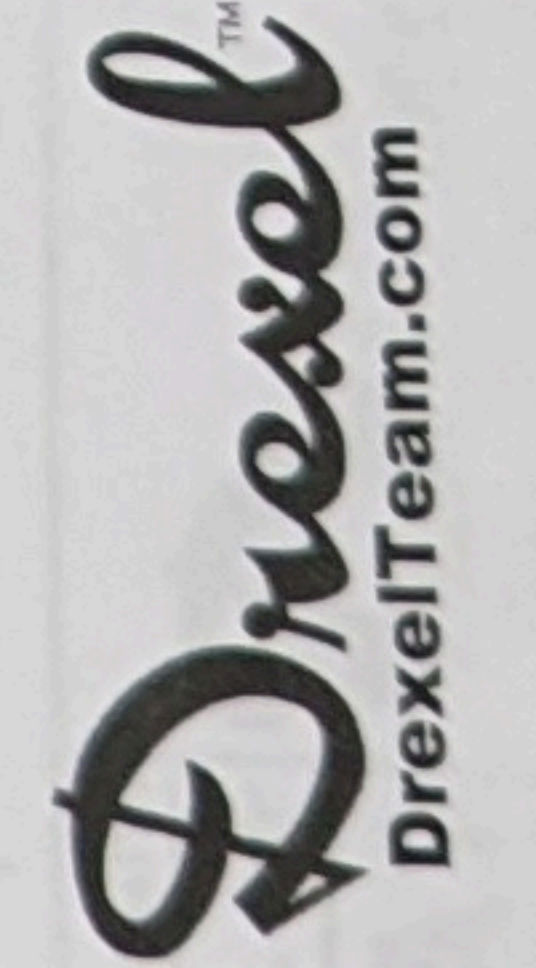
FINAL PLAN

DATE	DESCRIPTION	SA
4/3/2023	PRELIMINARY PLAN	SA
4/18/2023	BID PLAN	SA
4/20/2023	FINAL PLAN	SA

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**BRENT & JANEL
SCHICKER RESIDENCE**

WAYNE KELLER
647 1st STREET
RANDOM LAKE, WI



DESIGNER: J. WASHATKO
SCALE: 1/4" = 1'-0"
SHEET NO: **A4**
PROJECT NO: A23-161-K



Wisconsin Department of Safety and Professional Services Division of Industry Services



Online Building Permit System

Step 7

Print Confirmation

THIS IS NOT AN ACTUAL PERMIT. PERMIT WILL BE ISSUED BY VILLAGE OF RANDOM LAKE AFTER REVIEW PROCESS

1 Your filing number is 'DIS-062325506'. Please print for your record. [Click here for Print](#)

JURISDICTION : Village of RANDOM LAKE

PROJECT TYPE : New

PERMITS : Construction HVAC Electric Plumbing Erosion

PARCEL NUMBER : 59176746956

Owner

NAME : Jake and Carli Reuteler

ADDRESS 408 Franzen St., Random Lake, 53075

CONTACT (262) 424-9486, the.reuteler.1@gmail.com

Contractors

DWELLING CONTRACTOR

NAME : LEE REALTY OF SHEBOYGAN INC WERNER HOMES

LIC/CERT # : DC-059500769 **EXP DATE :** 07/31/2023

ADDRESS , ,

CONTACT ,

DWELLING CONTRACTOR QUALIFIER

NAME : ROBERT J WERNER

LIC/CERT # : DCQ-120700217 **EXP DATE :** 12/12/2023

ADDRESS 4539 S Taylor Dr, Sheboygan, 53081

CONTACT ,

HVAC CONTRACTOR/QUALIFIER

Project Information

NAME : WENSINK HEATING SERVICES INC
LIC/CERT # : 5719 EXP DATE : 10/04/2025
ADDRESS , OOSTBURG, 53070
CONTACT ,

ELECTRICAL CONTRACTOR
NAME : LUEDTKE ELECTRIC INC
LIC/CERT # : 1506 EXP DATE : 06/30/2024
ADDRESS 214 N 10TH ST, OOSTBURG, 53070
CONTACT ,

ELECTRICAL MASTER ELECTRICIAN
NAME : TODD JAMES LUEDTKE
LIC/CERT # : 1509 EXP DATE : 06/30/2023
ADDRESS W4005 COUNTY ROAD A S, CEDAR GROVE, 53013
CONTACT ,

MASTER PLUMBER
NAME : LARRY F BOEDECKER
LIC/CERT # : 232200 EXP DATE : 03/31/2027
ADDRESS 1109 S WISCONSIN DR, HOWARDS GROVE, 53083
CONTACT ,

SUBMITTER

NAME : Robert Werner
ADDRESS 4539 South Taylor Drive, Sheboygan, 53081
CONTACT (920) 458-4104, aaron@wernerhomes.com

LOT AREA

AREA 12431.00 SQ. FT.
1 OR MORE ACRES SOIL WILL BE DISTURBED false
LOCATION : Village of RANDOM LAKE

BUILDING
ADDRESS : East Shore Dr. , Random Lake, 53075
COUNTY SUBDIVISION LOT NO. 4 BLOCK NO.

ZONING

DISTRICT : PERMIT NUMBER :
SETBACKS Front ft.: 25.25 Rear ft.: 28.27 Left Ft.: 9.19 Right ft.: 28.11

PROJECT INFORMATION

1. PROJECT TYPE : New
2. AREA :

Project Information

AREA INVOLVED (SQ FT)	Unit 1	Unit 2	Total
Unfin. Bsmt.	1641.00		1641.00
Living Area	1641.00		1641.00
Garage	853.00		853.00
Deck/Porch	50.00		50.00
Total	4185.00	0.00	4185.00

3. OCCUPANCY : One Family

4. CONSTRUCTION TYPE :Site Built

5. STORIES :1-Story Plus Basement

6. ELECTRIC : Entrance Panel Amps 200, Underground

7. WALLS :Wood Frame

8. USE : Permanent

9. HVAC EQUIP : Furnace

10. SEWER :Municipal ,

11. WATER :Municipal

12. ENERGY SOURCE :

Space Htg : Nat Gas ,
Water Htg : Nat Gas ,

13. HEAT LOSS :60206

14. EST. BUILDING COST w/o LAND :350000.00

I understand that I: am subject to all applicable codes, laws, statutes and ordinances, including those described on the reverse side of the last ply of this form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the back of the permit if not signing below. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the reverse side of the last ply of this form.

SIGN/PRINT NAME: Robert Werner

DATE 6/1/2023 2:13 PM

[START NEW PERMIT REQUEST >> \(/APEX/CUSTOMER_PORTAL_INTRO_PAGE\)](#)

CONTACT (CONTACTUS) ([HTTPS://WWW.WISCONSIN.GOV/PAGES/POLICIES.ASPX](https://www.wisconsin.gov/pages/policies.aspx))
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([HTTP://WWW.WISCONSIN.GOV](http://www.wisconsin.gov))



REScheck Software Version 4.7.2 Compliance Certificate

Project Reuteler

Energy Code: **2009 IECC**
 Location: **Random Lake, Wisconsin**
 Construction Type: **Single-family**
 Project Type: **New Construction**
 Orientation: **Bldg. faces 315 deg. from North**
 Conditioned Floor Area: **3,282 ft²**
 Glazing Area: **11%**
 Climate Zone: **6 (7474 HDD)**
 Permit Date:
 Permit Number:

Construction Site:
 East Shore Dr
 Random Lake, WI 53075

Owner/Agent:

Designer/Contractor:
 Werner Homes
 4539 S Taylor Dr
 Sheboygan, WI 53081
 920-458-4104
 wernerhomes@wernerhomes.com

Compliance: Passes using performance alternative

Compliance: **0.7% Better Than Code**

NOTE: Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling 1: Flat Ceiling or Scissor Truss	1,641	0.0	49.0	0.020	0.026	33	43
Wall 1: Wood Frame, 16" o.c. Orientation: Front	488	19.0	6.0	0.043	0.057	18	24
Window 1: Wood Frame:Double Pane with Low-E SHGC: 0.30 Orientation: Front	38			0.290	0.350	11	13
Door 2: Solid Orientation: Front	21			0.150	0.350	3	7
Wall 2: Wood Frame, 16" o.c. Orientation: Left side	336	19.0	6.0	0.043	0.057	14	18
Door 1: Solid Orientation: Left side	21			0.150	0.350	3	7
Wall 3: Wood Frame, 16" o.c. Orientation: Back	488	19.0	6.0	0.043	0.057	16	22
Window 2: Wood Frame:Double Pane with Low-E SHGC: 0.30 Orientation: Back	109			0.290	0.350	32	38
Wall 4: Wood Frame, 16" o.c. Orientation: Right side	336	19.0	6.0	0.043	0.057	13	17

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Window 3: Wood Frame:Double Pane with Low-E SHGC: 0.30 Orientation: Right side	35			0.290	0.350	10	12
Basement Wall 1: Solid Concrete or Masonry Orientation: Front Wall height: 7.8' Depth below grade: 7.0' Insulation depth: 7.8'	473	0.0	5.0	0.089	0.050	42	24
Basement Wall 2: Solid Concrete or Masonry Orientation: Left side Wall height: 7.8' Depth below grade: 7.0' Insulation depth: 7.8'	326	0.0	5.0	0.089	0.050	29	16
Basement Wall 3: Solid Concrete or Masonry Orientation: Back Wall height: 7.8' Depth below grade: 7.0' Insulation depth: 7.8'	473	0.0	5.0	0.089	0.050	42	24
Basement Wall 4: Solid Concrete or Masonry Orientation: Right side Wall height: 7.8' Depth below grade: 7.0' Insulation depth: 7.8'	326	0.0	5.0	0.089	0.050	29	16

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version 4.7.2 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Aaron Spicvogel - Project Coordinator
Name - Title


Signature

6-1-23
Date

WERNER HOMES
4539 TAYLOR DR.
SHEBOYGAN, WI. 53081

JOB NAME: JAKE & CARLI REUTELER
ADDRESS: EAST SHORE DR, RANDOM L
DATE: 25-May-23

LIST OF CONTRACTORS FOR - NEW DWELLING

EXCAVATING CONTRACTOR:	WAGNER EXCAVATING	SHEBOYGAN	458-9082
MASON CONTRACTOR:	OOSTBURG CONCRETE	OOSTBURG	564-3341
CONCRETE CONTRACTOR:	OOSTBURG CONCRETE	OOSTBURG	564-3341
CARPENTER CONTRACTOR:	WERNER HOMES	SHEBOYGAN	458-4103
ELECTRICAL CONTRACTOR:	LUEDTKE ELECTRIC	OOSTBURG	564-2022
INSULATION CONTRACTOR:	ALPINE INSULATION	SHEBOYGAN	458-8188
HEATING CONTRACTOR:	WENSINK HEATING	SHEB. FALLS	564-6209
PLUMBING CONTRACTOR:	NUEMANN PLUMBING	SHEBOYGAN	565-3345
ROOFING CONTRACTOR:	WERNER HOMES	SHEBOYGAN	458-4103
SIDING CONTRACTOR:	WERNER HOMES	SHEBOYGAN	458-4103
DRYWALL CONTRACTOR:	TENPAS DRYWALL	SHEB. FALLS	467-2253
PAINTING CONTRACTOR:	COREY LEIKIP	SHEBOYGAN	980-6547
LANDSCAPING CONTRACTOR:	BY OWNER		

10 Year SureStart Protection
10 Year StreakFighter Algae-Resistance Warranty
130 MPH Wind Warranty
 Silver Birch is Energy Star Rated.

LANDMARK[®]

Designer Shingles

- Shown in Weathered Wood
- Altimor Blue
 - Highland
 - Camden
 - Crossed Oak
 - Columbia
 - Collage Red
 - Driftwood
 - Pepper



Featured Color:
DRIFTWOOD

WinterGuard[®]
 WinterGuard is the underlayment designed to prevent leakage due to water backup from ice dams or wind-driven rain.

DiamondDeck[®] and RoofRunner[™]
 CertainTeed offers two options in High Performance Underlayment. Both are manufactured to provide superior performance in terms of both weather protection and contractor safety. Ask your contractor about the complete Energy Roof System[™] from CertainTeed.



BUCHTEL Werner Homes

A

A

[Dark rectangular label]

Exterior Colors

See next card for color availability by product.

▼ White

▼ Canvas

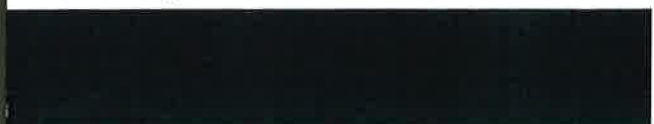
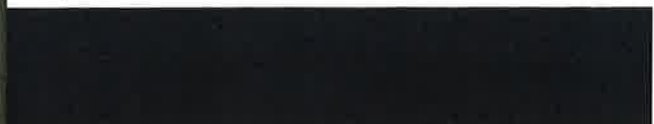
▼ Sandtone

▼ Terratone

▼ Forest Green

▼ Dark Bronze

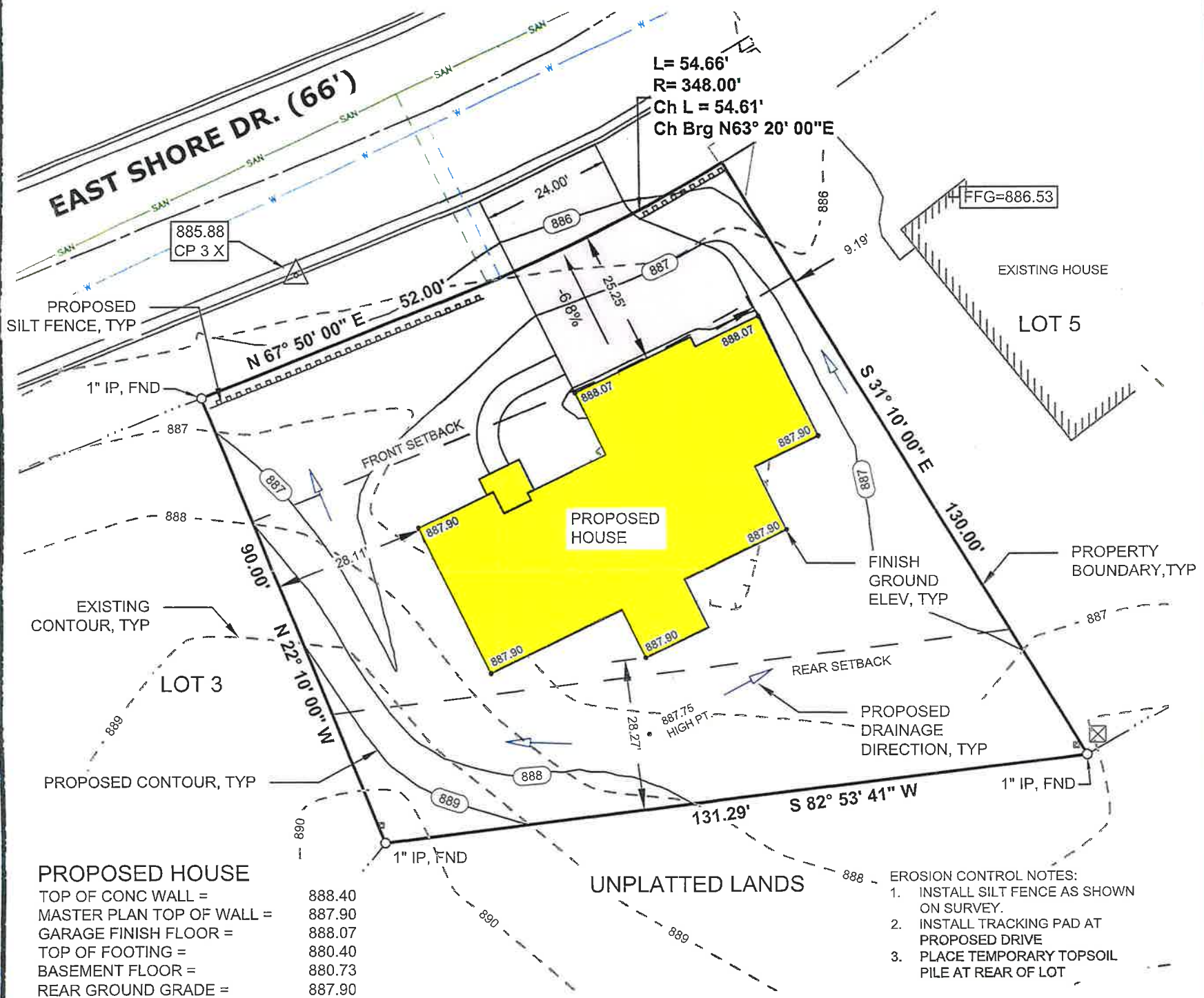
▼ Black ✓



Color chips are affected by the type and amount of light in which they're viewed, as well as the age of the chip. Slight differences may exist between the color or sheen of the chip and the actual color of the product specified.

BUILDING PERMIT SURVEY

LOT 4 OF LAKE VIEW ESTATES
 PART OF GOVERNMENT LOT 4, SECTION 26, T13N, R21E
 VILLAGE OF RANDOM LAKE
 SHEBOYGAN COUNTY, WISCONSIN



PROPOSED HOUSE

TOP OF CONC WALL =	888.40
MASTER PLAN TOP OF WALL =	887.90
GARAGE FINISH FLOOR =	888.07
TOP OF FOOTING =	880.40
BASEMENT FLOOR =	880.73
REAR GROUND GRADE =	887.90

BENCHMARK: "X" IN CURB DESIGNATED AS CP 3 X ON SURVEY
 ELEV = 885.88'

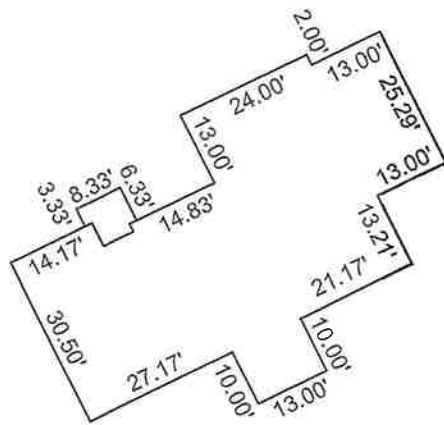
BUILDING DIMENSIONS TO PROPERTY LINE ARE FROM THE FOUNDATION WALL CORNER AND PERPENDICULAR TO THE PROPERTY LINE

PARCEL NUMBER: 59176746956
 PARCEL OWNER: JACOB & CARLI REUTELER
 PARCEL ADDRESS: EAST SHORE DR.
 PARCEL AREA: 12,431 SQ. FT. (0.285 AC.)

VILLAGE ZONING: R-1 RESIDENTIAL DISTRICT
 25' FRONT SETBACK
 15' (TOTAL BOTH SIDES) SIDE SETBACK
 7' (MINIMUM ONE SIDE) SIDE SETBACK
 25' REAR SETBACK

BEARINGS AND DISTANCES SHOWN ARE REFERENCED TO THE SOUTH LINE OF THE SE 1/4 OF SEC. 26, T13N, R21E, WHICH BEARS S89°12'51"W

- EROSION CONTROL NOTES:**
1. INSTALL SILT FENCE AS SHOWN ON SURVEY.
 2. INSTALL TRACKING PAD AT PROPOSED DRIVE
 3. PLACE TEMPORARY TOPSOIL PILE AT REAR OF LOT



PROPOSED BUILDING FOUNDATION LAYOUT
 (1" = 40')



I, CRAIG A. RUSCH, WISCONSIN REGISTERED LAND SURVEYOR NO. S-2274, DO HEREBY CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DRAWING DATE: 6-1-2023



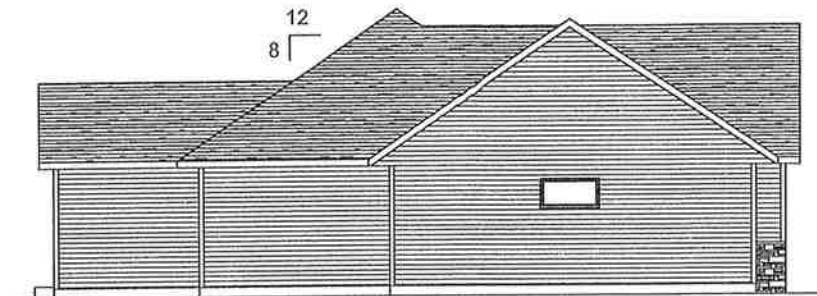
GRAPHIC SCALE



1 inch = 30 ft.



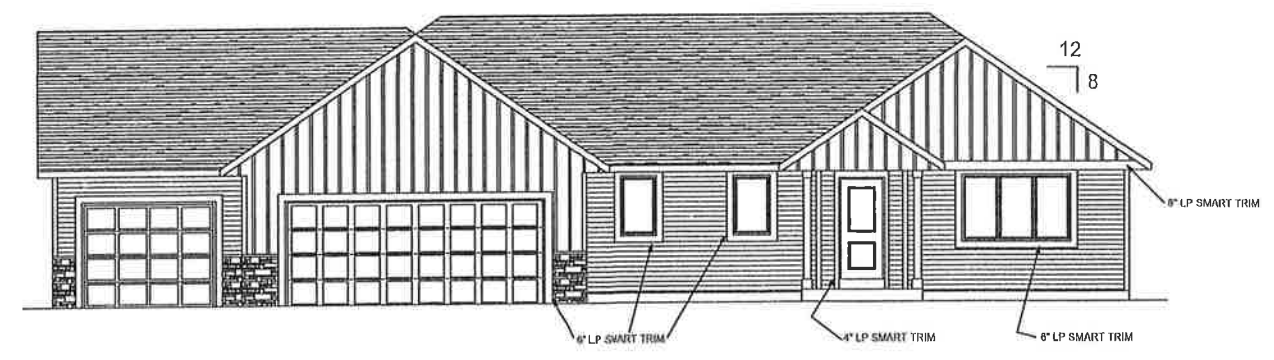
REUTELER RESIDENCE
 EAST SHORE DRIVE
 RANDOM LAKE, WI



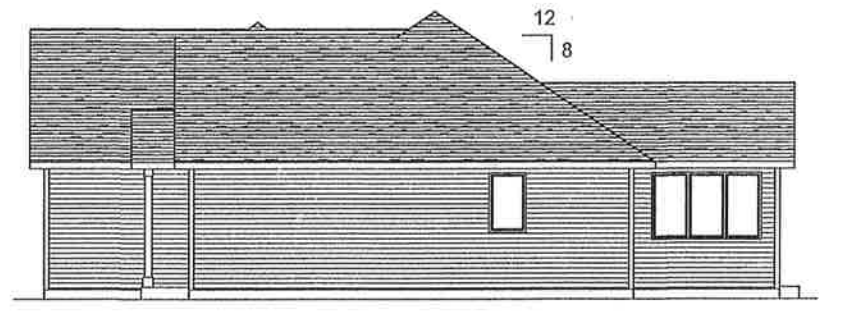
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



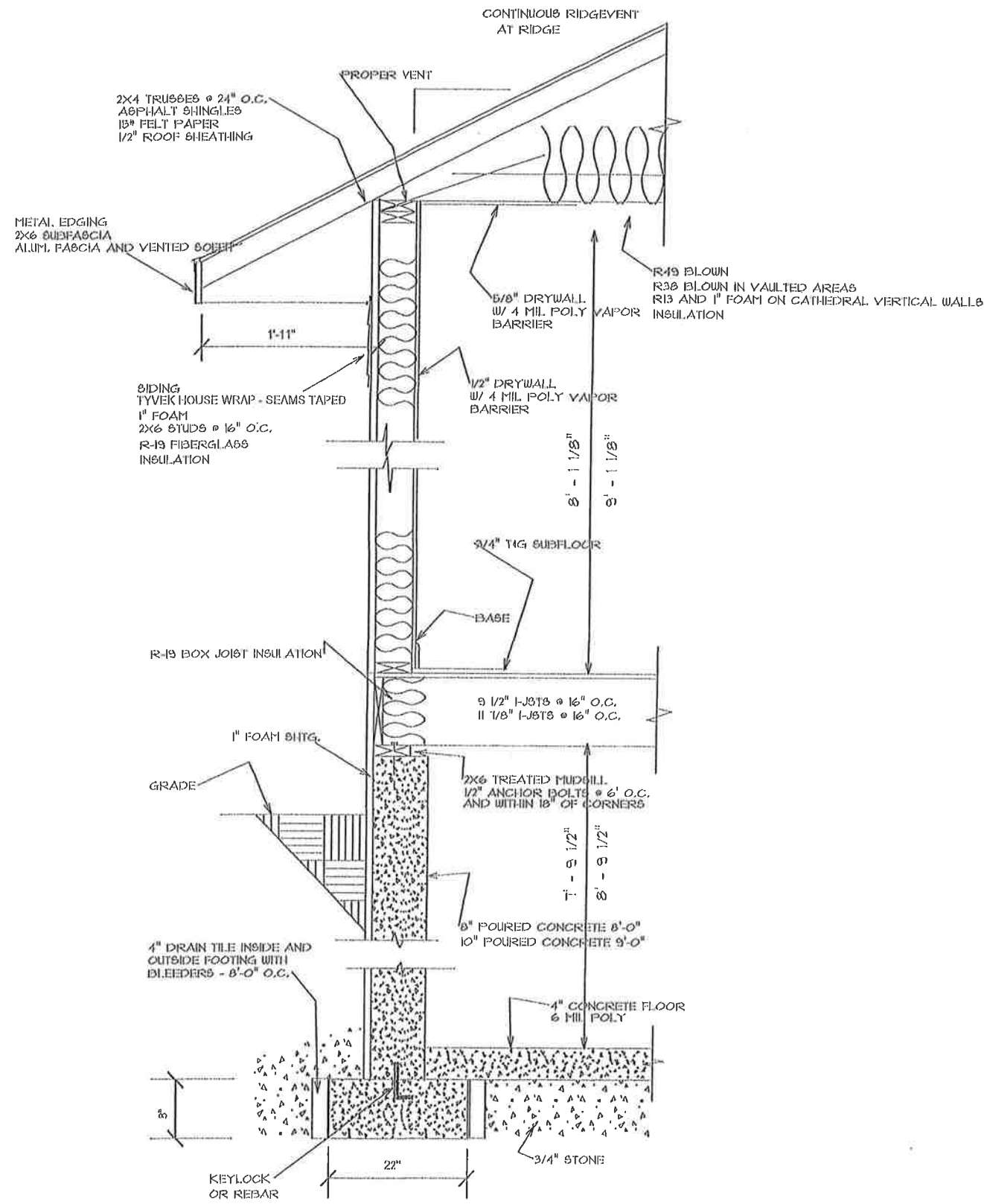
REAR ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

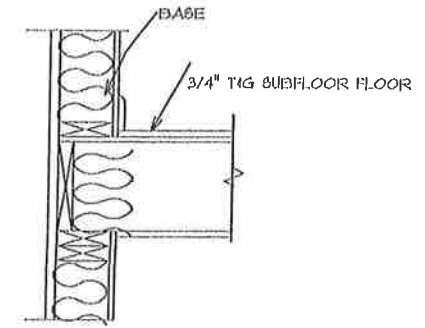


RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

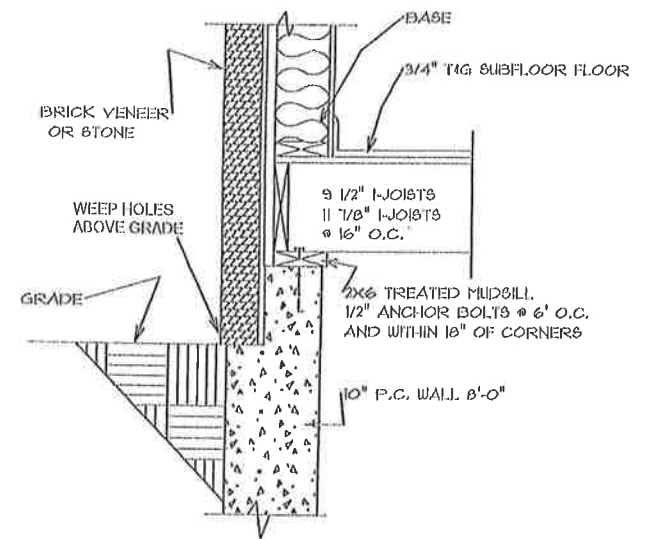


TYPICAL SECTION

- OTHER NOTES:
1. LOAD POINTS GO TO FOUNDATION
 2. PROPER FLASHING OVER DOOR AND WINDOW TRIM
 3. PROPER FLASHING ON BRICK LEDGE
 4. 11 7/8" BASEMENT BEAM NEEDS U-BOOT SADDLE ON POST
 5. INSTALL 2 X 2 X 3/16" WASHERS ON BOLTS BY GARAGE DOOR
 6. GARAGE SCUTTLE MUST BE MECHANICALLY FASTENED



TYPICAL 2-STORY SECTION



TYPICAL BRICK SECTION



MIN. HEADER FOR GABLE END:
 3-1/2"X 11-7/8" IJC GLU LAM
 (LOADING:42/20)
 MAX 18' CLEAR OPENING

3-1/2"X 11-7/8" BIG BEAM GLU LAM
 (LOADING:60/20)
 MAX 18' CLEAR OPENING
 UDC 21.25(9)(b)4.d. & f. & e.

FASTEN SHEATHING TO HEADER
 WITH 8d COMMON NAILS IN 3"
 GRID PATTERN AS SHOWN AND 3"
 O.C. IN ALL FRAMING (STUDS
 AND SILLS) (TYP.)

1000 LB. HEADER-TO-JACK-STUD
 STRAP ON BOTH SIDES OF OPENING.
 INSTALL ON BACKSIDE AS SHOWN ON
 SIDE ELEVATION, MSTA36 STRAP
 UDC 21.25-K
 UDC 21.25(9)(b)4.h.

MIN. (1) KING STUD (TYP.)

FOR A PANEL SPLICE (IF NEEDED)
 PANEL EDGE SHALL BE BLOCKED &
 OCCUR WITH IN 24" OF MID HEIGHT.
 ONE ROW OF 8d COMMON NAILS 3"
 O.C. IS REQ'D IN EACH PANEL.
 UDC 21.25(8)(h)

MIN. WIDTH BASED ON 6:1
 HEIGHT-TO-WIDTH RATIO: FOR
 EXAMPLE: 16" MIN. FOR 8'HEIGHT
 18" MIN. FOR 9'HEIGHT
 20" MIN. FOR 10'HEIGHT
 UDC 21.25(9)(b)4.
 UDC 21.25(9)(c)5.

MIN. 2"X2"X3/16" PLATE
 WASHER

2-ANCHOR BOLT PER PANEL
 IRC R403.1.6 (TYP.)
 UDC 21.18(1)(c)
 UDC 21.25(9)(b)2.b. & c.

FOUNDATION PER CODE (TYP.)

EXTENT OF HEADER (TWO BRACED WALL SEGMENTS)

OPENINGS UP TO 18' (FINISHED WIDTH)

HEADER SHALL BE
 FASTENED TO KING
 STUD WITH 6-16d
 SINKER NAILS

TOP PLATE IS
 REQUIRED PER
 IRC R602.3.2,
 UDC 21.25(2)

NO. OF JACK STUDS PER TABLE
 IBC 502.5(182), URC 21.25(3)(b)
 OPENINGS GREATER THAN 6' REQ. 2 JACK
 STUDS. ENSURE THAT 2 JACK STUDS CAN
 CARRY THE LOAD FROM HEADER, ESPECIALLY
 IF ON THE EAVE END

MAX. HEIGHT 10'-0"

OUTSIDE ELEVATION

EAVE END HEADER (PLEASE CALL TO HAVE HEADER SIZED):
 HEADER SIZE WILL VARY DEPENDING ON SNOW
 LOAD, TRIBUTARY LENGTH OF TRUSSES AND OVERHANG.
 UDC 21.25(a)(b)4.d. & f. & g.

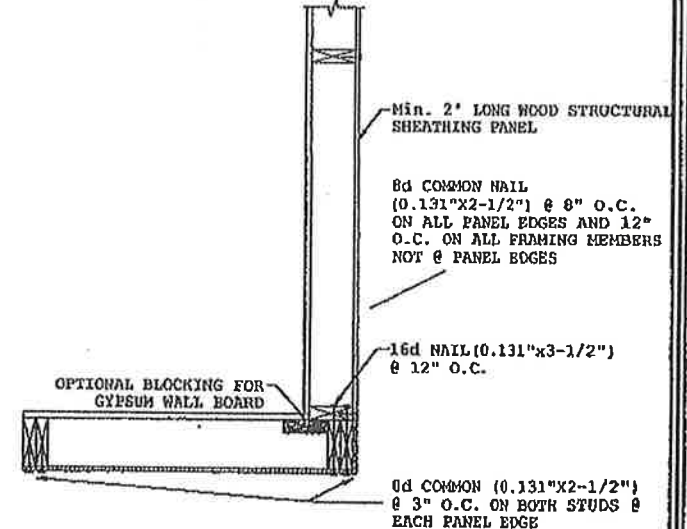
SHEATHING FILLER IF NEEDED
 UDC 21.25 (9) (b) 4.e.

16d SINKER NAILS IN 2 ROWS @
 3" O.C.

1000 LB. HEADER-TO-JACK-STUD
 STRAP ON BOTH SIDES OF OPENING
 MSTA36 STRAP
 SEE TABLE UDC 21.25-K
 UDC 21.25(9)(b)4.h.

3/8" MIN. THICKNESS WOOD
 STRUCTURAL PANEL SHEATHING
 UDC 21.25 (8) (b) 4.
 UDC 21.25 (9) (b) 2.

SIDE



GARAGE DOOR CORNER

SEE 21.25 (9)(c) 6.

IMPORTANT CODE REQUIREMENT:
 ONLY FOR USE ON HOMES WITH FULLY SHEATHED
 PLYWOOD OR OSB EXTERIOR WALLS, PER IRC
 R602.10.5.,
 UDC 21.25(8)(b)4.

DETAIL OF NARROW WALL BRACING METHOD



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 1-715-359-6524 FAX
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