



Plan Commission Meeting
Monday, February 5, 2024
5:30 p.m.

LOCATION OF MEETING: 96 RUSSELL DRIVE

Meeting Minutes

- 1. Call to Order, Roll Call:** Chairman San Felippo called the meeting to order at 5:30 pm. Commission members present included Steven Masslich, Randy Soerens, Mike San Felippo, Jeff Schultz, Barbara Ruege, and Peter Lederer. John Schluechtermann attended at 5:40 pm. Village employees present included Clerk/Treasurer Stephanie Waala. For additional attendees see attached sign in sheet.

Let it be known there was a quorum of the village board as Duane Urbanski arrived at 5:30 pm. Elizabeth Manian attended virtually at 5:30 pm. Eric Stowell attended at 6:25 pm.

- 2. Discussion and Possible Action to approve the January 15, 2024, meeting minutes.**

Chairman San Felippo made a motion to approve as submitted, motion was seconded by Member Soerens. Motion carried 6-0.

- 3. Discussion and Review related to the village zoning ordinances.**

Chairman San Felippo informed the board he would like to focus on R1 district and then look at other sections. Potentially create a PUD to encompass all changes to cover all potential changes that would pertain to properties.

Member Schultz proposed to the board a change to Section 38.68b, add the word "minimum". Additionally asked for clarification on Section 38.68(3)(d)(1)(i) as he is unable to interpret. Chairman San Felippo informed the board that his interpretation is that the accessory building needs to be in the rear yard and can this be clarified in the definition of front/rear yard. Member Schultz suggested changing the wording to be "behind principal building". Chairman San Felippo inquired as should they allow them to be in the side yard.

Member Schultz presented handouts to the board with information about lot sizes within the village. Additionally, presented handouts to the board with general information about homes within the village. Inquired as could these be used to determine which ordinances are important and which are not.

Chairman San Felippo informed the board the intent of the meeting was to review what is currently in place and tweaking it. Then creating another ordinance for all lots this current ordinance does not allow for existing. Member Schluechtermann informed the board that the current is for new not old, and what is expected to clarify wording to help make current move understandable.

Member Schluechtermann inquired as to in section 38.68(3)(c)(5)(iii) and the purpose of this statement. Chairman San Felippo suggested that when a change was made this line must have been put in place.

Member Ruege suggests the clarification of what constitutes being grandfathered in. Are they stuck with what was allowable during that or do they abide by current?

Chairman San Felippo inquired as to section 38.68(3)(d)(1)(i) as to if this should be changed or is it fine the way it is. Member Masslich informed the board that rear yard is defined on page 5. Chairman San Felippo that we could potentially put “refer to definitions page.”

Chairman San Felippo informed the board that they should convene to the next meeting in two weeks. Clerk Waala informed the board there will be a meeting in two weeks because there are some proposals to be presented so put a time slot in for this, but there will be other items on the agenda.

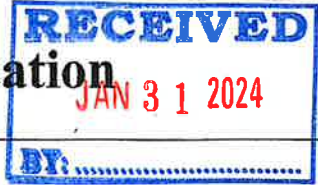
4. Adjourned at 6:30 pm.



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite: 41 East Shore Drive

Owner's Name: Craig & John Sternke Mailing Address (if different from project location above): (same)

Craig: 414.861.0878
John: 262.424.0014
Phone No.
Bob: 414.254.6142
Sup: 414.254.2227
Phone No.

Contractor's Name: Thierfelder Builders, Inc. Contractor's Mailing Address: W51 N740 Keep Rd.

City, State & Zip Code: Cedarburg WI 53012

Email: suc@thierfelderbuilders.com

Dwelling Contractor Certification No.: DC-05900635

Dwelling Contractor Qualifier Certification No.: DCQ-020800375

Please check project type

New**		Addition**	<input checked="" type="checkbox"/>	Job Description:
Alteration*		Repair	<input type="checkbox"/>	<u>master suite addition & lower level finished area</u>

Size 21'1" x 36'3" Sq. Ft. 1,472 Height 19' Est. Value of Project \$ 230,000

*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

**ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2nd Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3rd Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Susan Thierfelder DATE _____

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

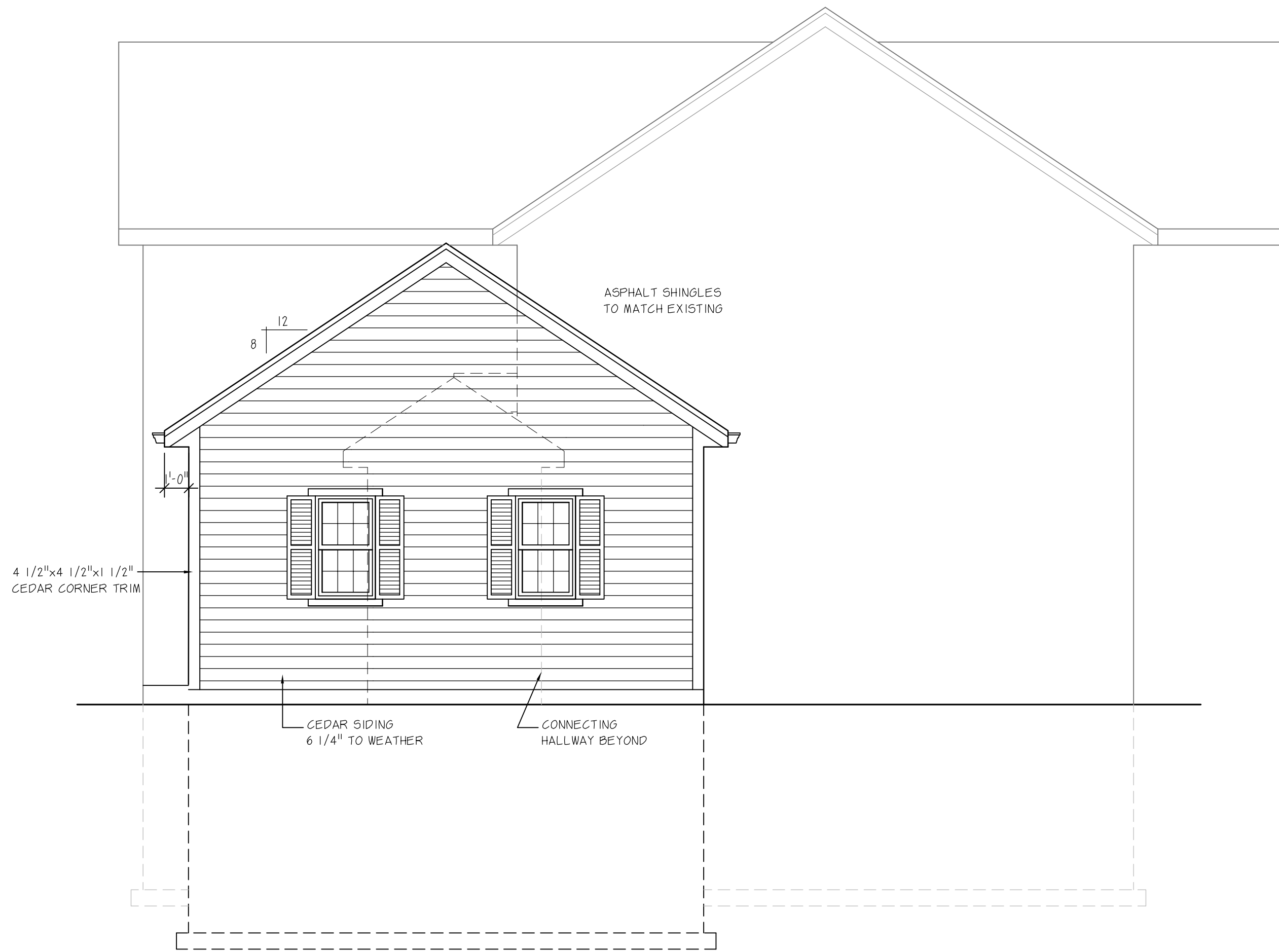
Permit No. _____

FOR OFFICE USE:	CHECK NO. _____	AMT PD _____	DATE _____
PAID BY: _____			

FEE SCHEDULE WORKSHEET

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

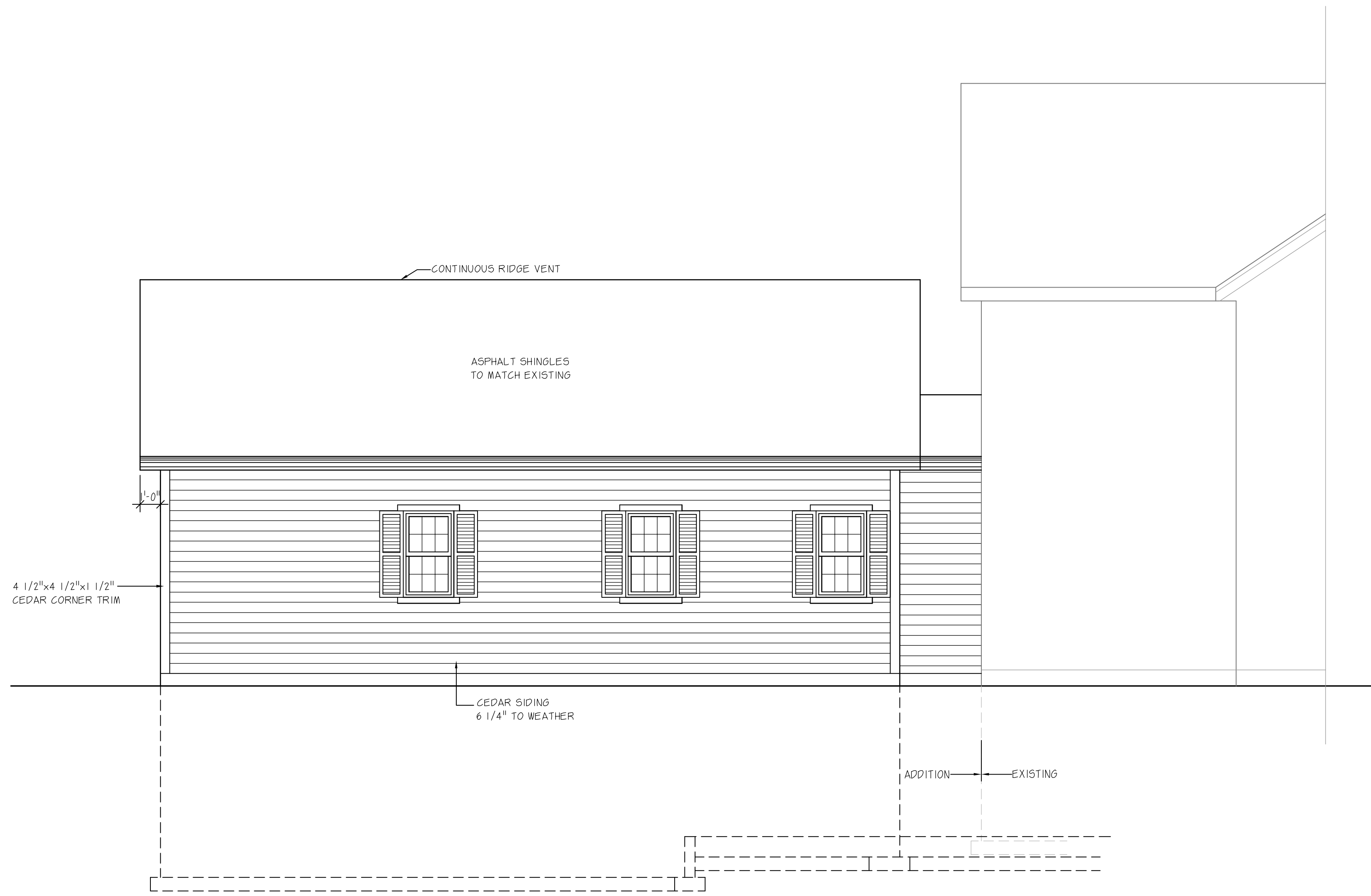
All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

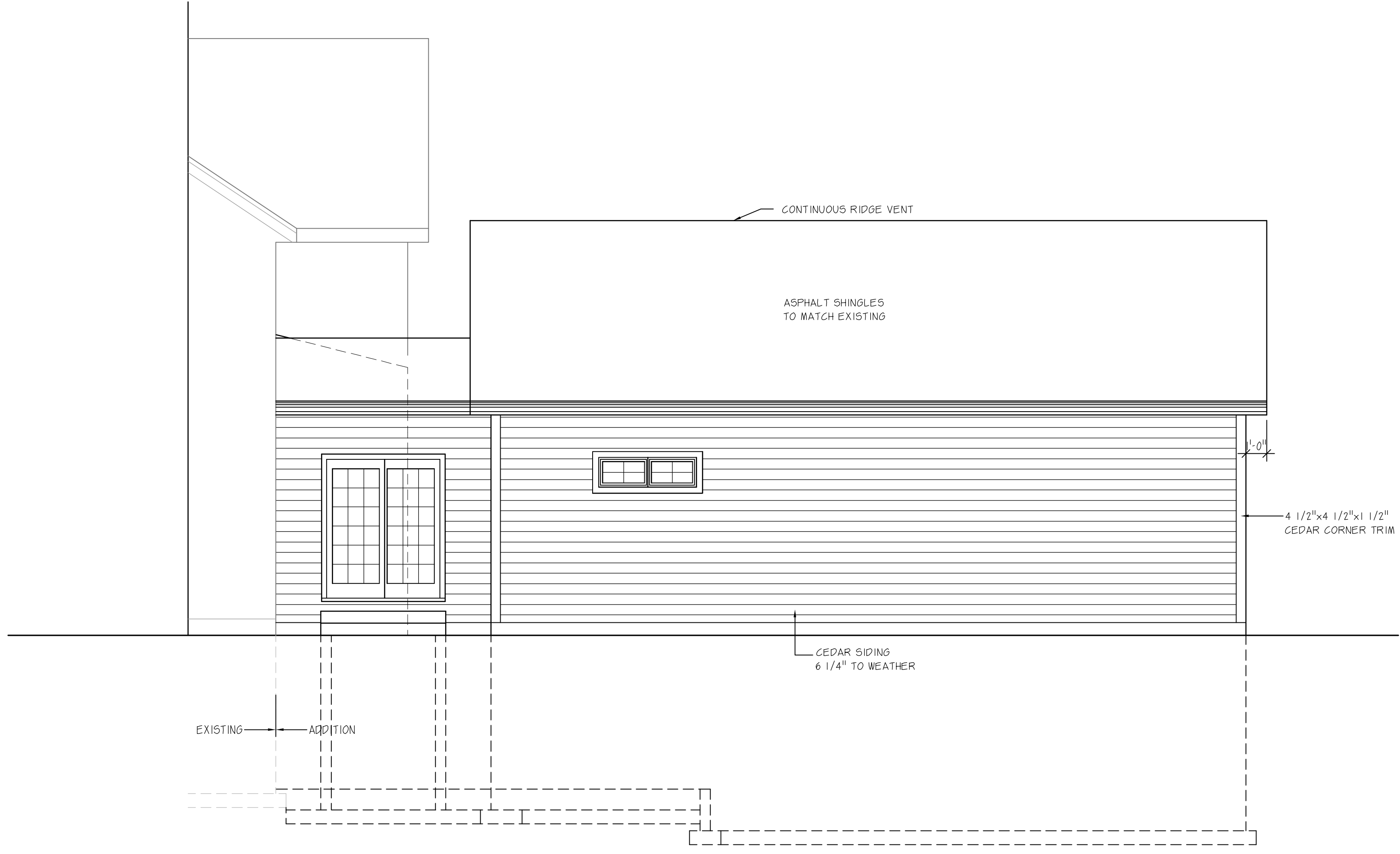
NOTE:
FIELD VERIFY ALL
DIMENSIONS AND CONDITIONS REPRESENTED HEREIN.
MAJOR DISCREPANCIES BETWEEN THESE DOCUMENTS
AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED
TO NEW HORIZON VENTURES IMMEDIATELY!!!

NEW HORIZON VENTURES, L.L.C. ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI. 53024 http://www.nhv-arch.com/ 262-377-4730 or 262-375-2397	
JOB NUMBER STE-2507-723	DATE 10/3/2023
REVISIONS:	
SHEET 1 OF 7	CHECKED BY: D.S.
DRAWN BY: D.S.	
PROJECT ADDITION PLANS FOR: STERKE RESIDENCE	




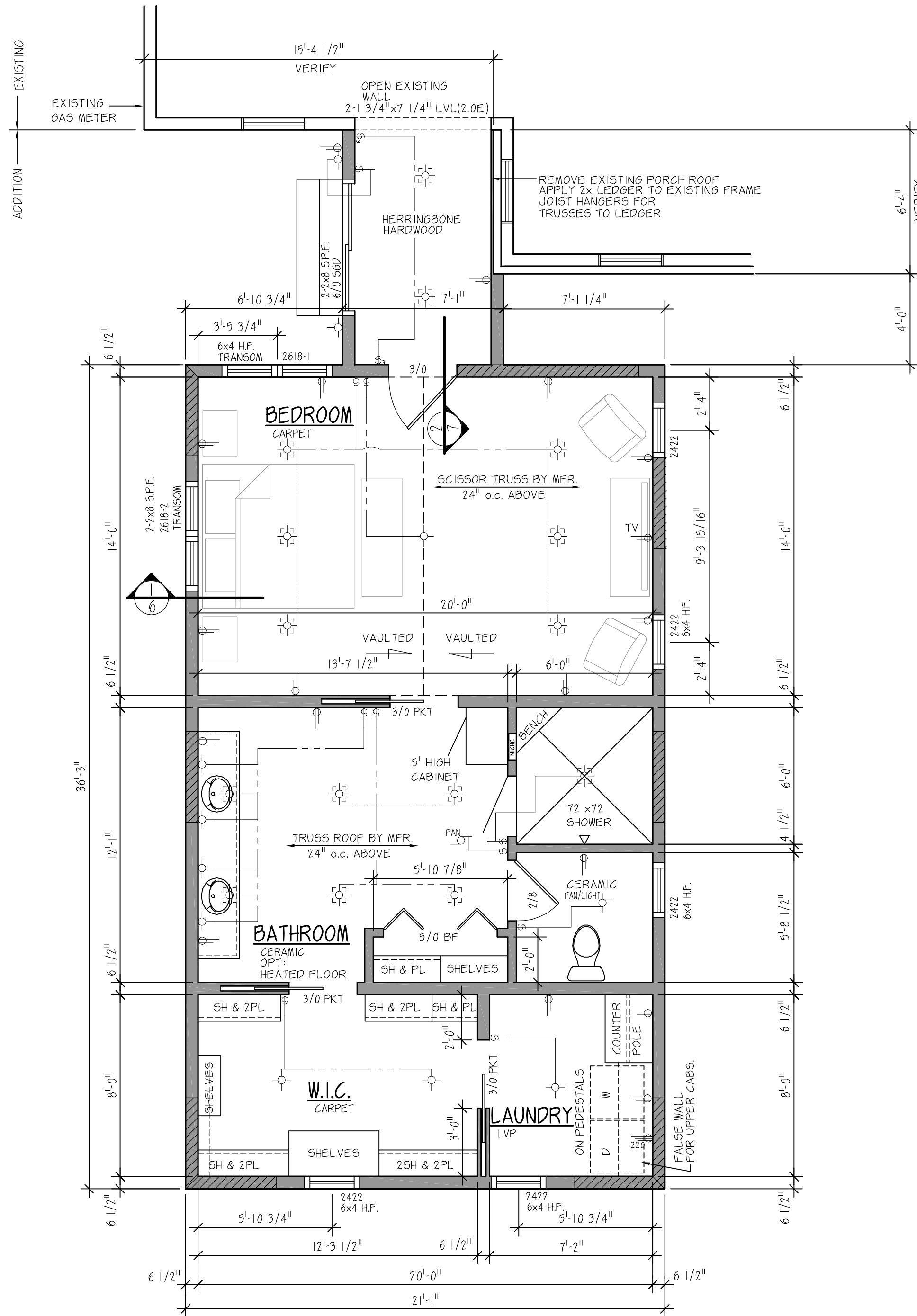
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT ADDITION PLANS FOR: STERNKE RESIDENCE	
NEW HORIZON VENTURES, L.L.C. ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI. 53024 http://www.nhb-arch.com/ 262-377-4730 or 262-375-2397	
JOB NUMBER STE-2507-723	DATE 10/2/2023
REVISIONS:	
SHEET 1 of 2	CHECKED BY: D.S.
DRAWN BY: D.S.	



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT ADDITION PLANS FOR: STERNKE RESIDENCE	
NEW HORIZON VENTURES, L.L.C. ARCHITECTS/PLANNERS  P.O. BOX 292, GRAFTON, WI. 53024 http://www.nhb-arch.com/ 262-377-4730 or 262-375-2397	
JOB NUMBER STE-2507-723	DATE 10/3/2023
REVISIONS:	
SHEET 1 of 3	CHECKED BY: DJS
DRAWN BY: DJS	



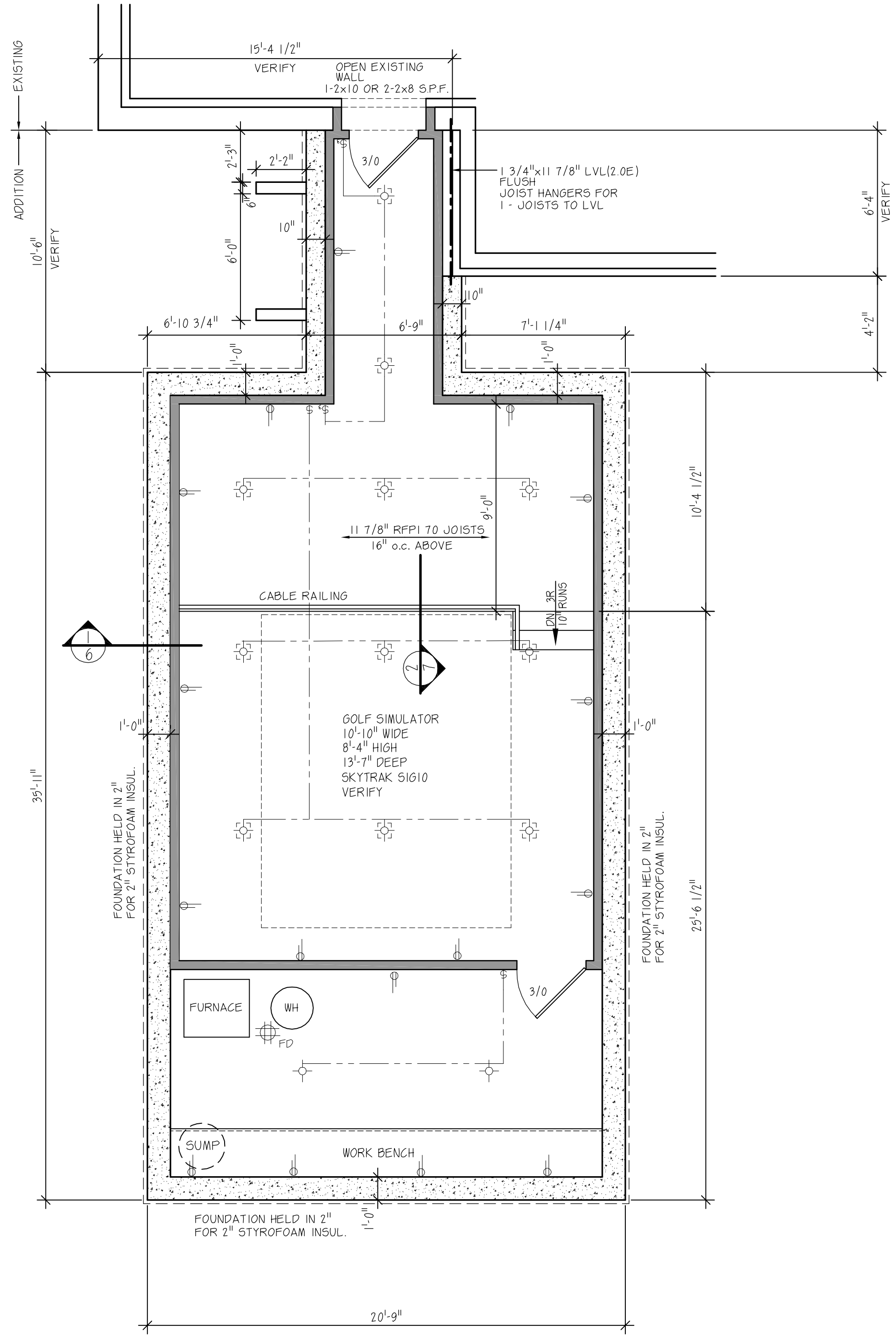
FLOOR PLAN

SCALE: 1/4" = 1'-0"

829 SQUARE FEET

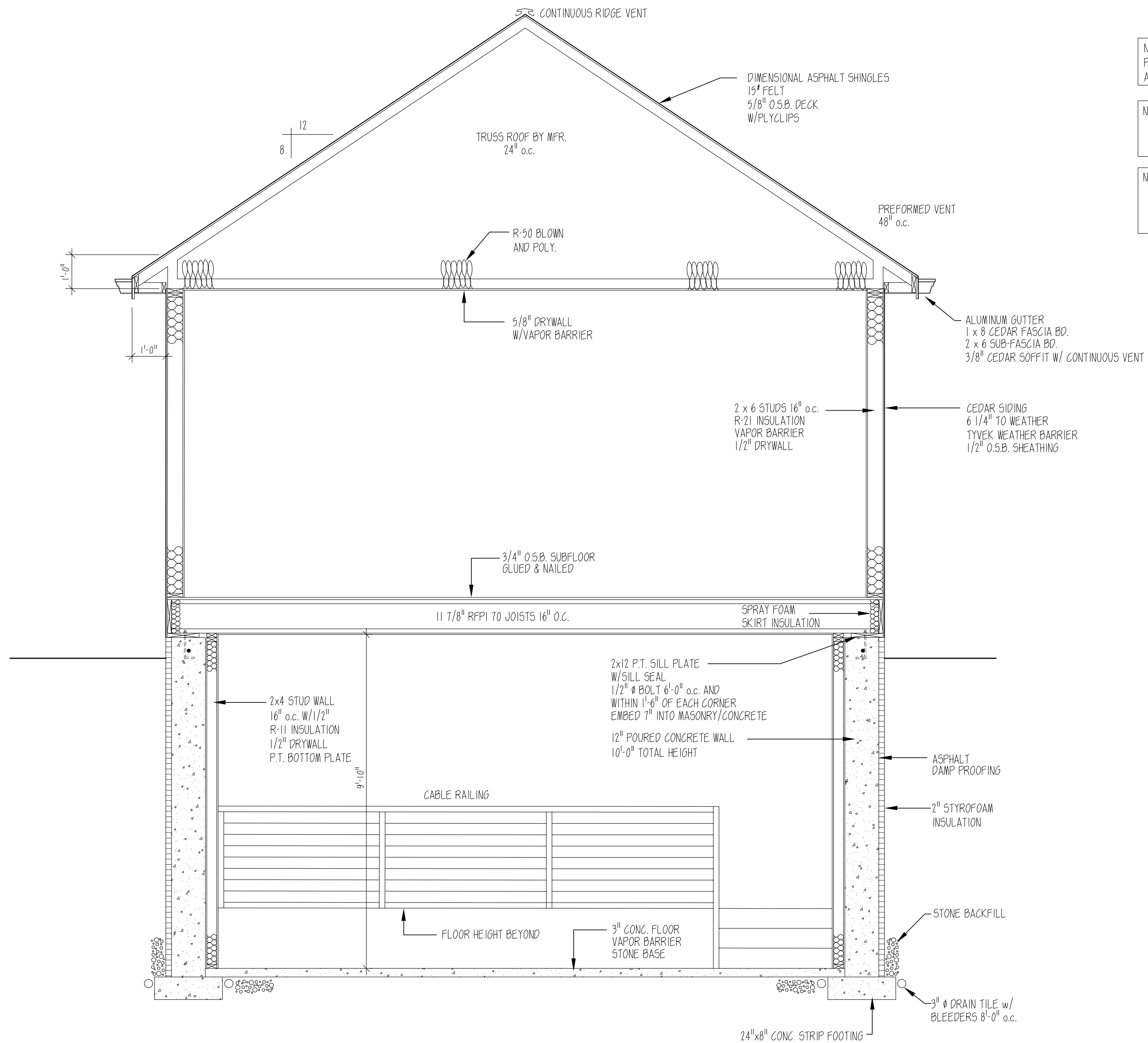
WALL BRACING KEY	
	36" - 48" [8' WALL HT] OR 42" - 48" [9' WALL HT] WOOD STRUCTURAL PANEL SHEATHING OR 1/2" STRUCTURAL FIBERBOARD SHEATHING PER TABLE 21.25-G
	48" OF GYPSUM WALLBOARD (BOTH SIDES)
	SHEATHED 6:1 ASPECT RATIO W/ EXTENDED HEADERS (SEE DETAIL SHT 4)

PROJECT ADDITION PLANS FOR: STERKE RESIDENCE	
NEW HORIZON VENTURES, L.L.C. ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI. 53024 http://www.nhv-arch.com/ 262-377-4730 or 262-375-2397	
JOB NUMBER STE-2507-723	DATE 10/3/2023
SHEET 4 OF 7	REVISIONS: 10/4/2023
CHECKED BY: D.S.	DRAWN BY: D.S.



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

1 OF 7	JOB NUMBER STE-2507-723	DATE 10/3/2023	REVISIONS:	CHECKED BY: D.S.	DRAWN BY: D.S.
	SHEET				
PROJECT ADDITION PLANS FOR: STERNKE RESIDENCE			NEW HORIZON VENTURES, L.L.C. ARCHITECTS/PLANNERS P.O. BOX 292, GRAFTON, WI. 53024 http://www.nhv-arch.com/ 262-377-4730 or 262-375-2397		



NOTE:
 PROVIDE AND INSTALL RAFTER CLIPS
 AT ALL RAFTER AND TRUSS ENDS.

NOTE:
 CARPENTER CONTRACTOR TO
 FOLLOW MANUFACTURERS INSTALLATION
 DETAILS FOR MANUFACTURED JOISTS

NOTE:
 FINAL TRUSS LAYOUT BY TRUSS MFR.
 VERIFY ALL BEARING POINTS
 TRUSS MFR. TO DESIGN AND PROVIDE
 ALL TRUSS HANGERS

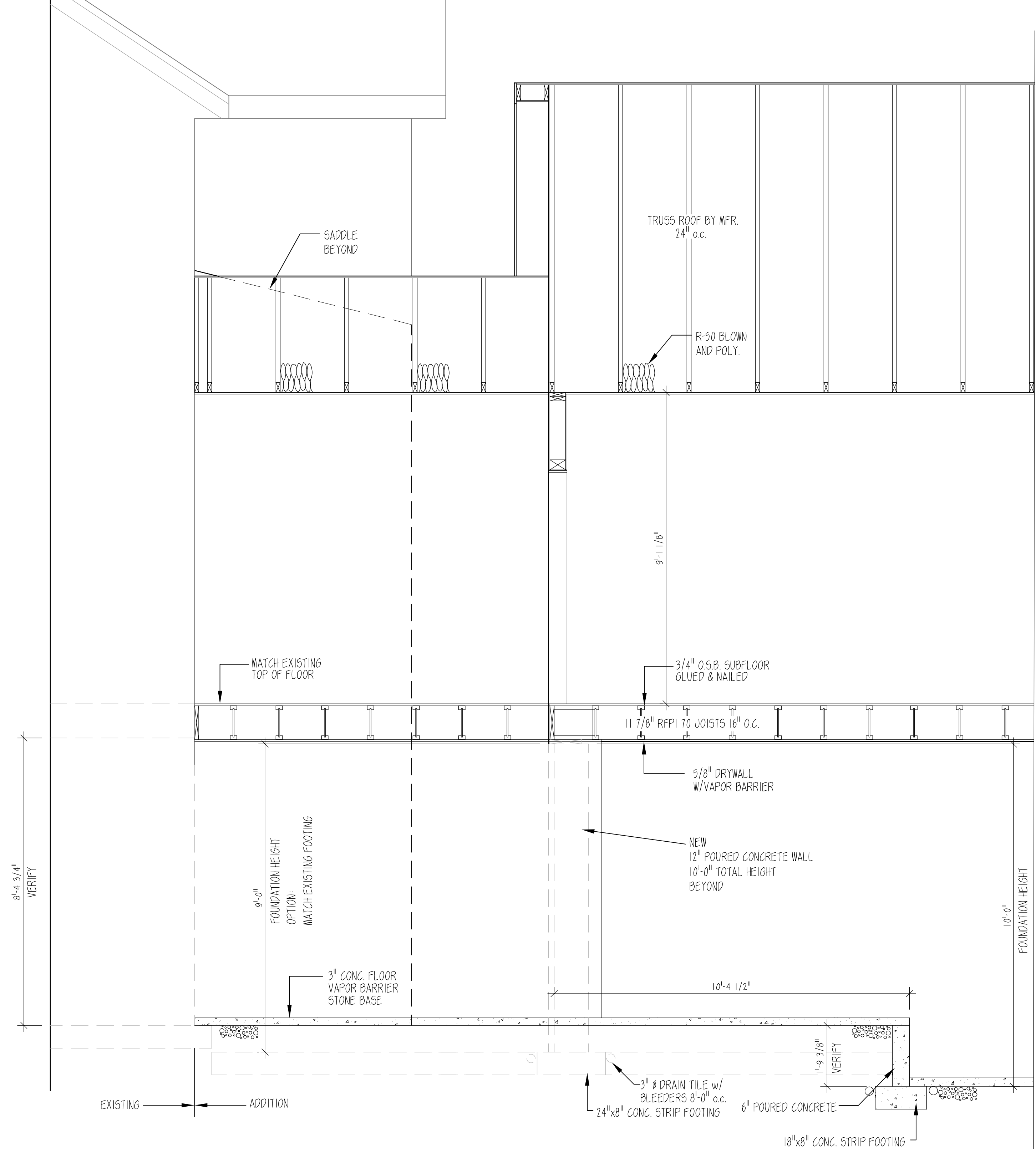
SECTION 1
 SCALE: 1/2" = 1'-0"

PROJECT
 ADDITION PLANS FOR:
 STERKE RESIDENCE

**NEW HORIZON
 VENTURES, L.L.C.**
 ARCHITECTS/PLANNERS
 P.O. BOX 292, GRAFTON, WI. 53024
<http://www.nhv-arch.com/>
 262-377-4730 or 262-375-2397

JOB NUMBER	STE-2507-723
DATE	10/3/2023
REVISIONS:	

SHEET	9 OF 7
CHECKED BY:	D.S.
DRAWN BY:	D.S.



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 ADDITION PLANS FOR:
 STERNKE RESIDENCE

**NEW HORIZON
 VENTURES, L.L.C.**
 ARCHITECTS/PLANNERS
 P.O. BOX 292, GRAFTON, WI. 53024
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 262-377-4730 or 262-375-2397

JOB NUMBER	STE-2507-723
DATE	10/3/2023
REVISIONS:	

SHEET	7
OF	9
CHECKED BY:	D.S.
DRAWN BY:	D.S.

SECTION 2
SCALE: 1/2" = 1'-0"

Thierfelder
BUILDERS, INC.

CRAIG & JOANN STERNKE RESIDENCE

41 EAST SHORE DRIVE, RANDOM LAKE

EXTERIOR COLORS TO MATCH EXISTING COLORS
AS CLOSELY AS POSSIBLE

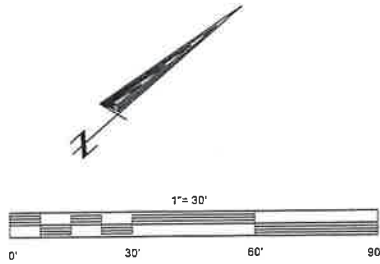
PICTURES OF EXISTING HOME



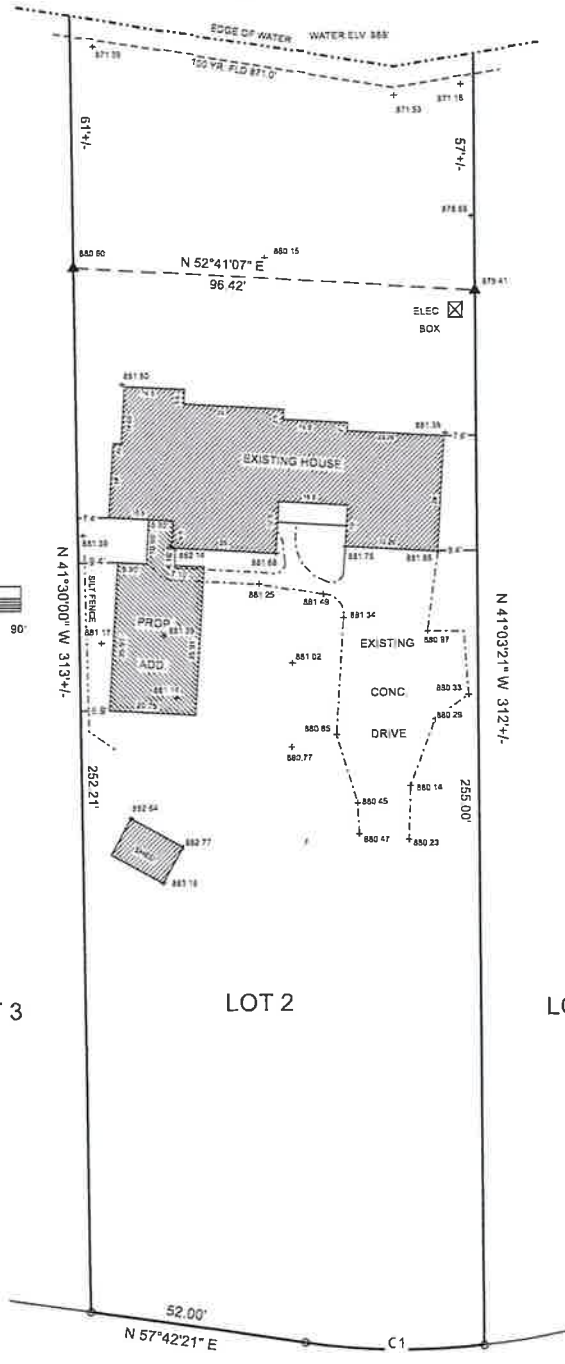
D & H LAND SURVEYS LLC
 1628 GEORGIA AVENUE
 SHEBOYGAN, WISCONSIN

41 EAST SHORE DRIVE
 PARCEL 59176746463
 BEING LOT 2 OF HICKORY GLEN SUBDIVISION,
 VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY,
 WISCONSIN.

RANDOM LAKE



- = 1" IRON PIPE SET
 - ▲ = 1 1/2" REBAR FOUND
 - + = EXISTING GRADE
- LOT AREA 30,000 SQ FT +/-
 EXISTING HOUSE 2,300 SQ FT
 PROPOSED ADD 811 SQ FT



EAST SHORE
 DRIVE SOUTH

THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON
 IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
 Dennis J. Van Sluys S-1235

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING
C1	43.00	170.00	42.88	N 50°30'18" E

Dated this 17th day of November, 2023. Revised 1/16/24

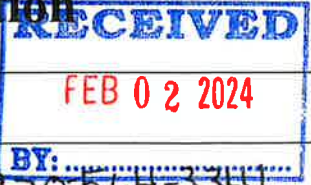
DATA/RAND/41ESHORE D-3595



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite: 515 Ray Berg Ct. (Lot 4)

Owner's Name: Field Tree Construction Mailing Address (if different from project location above): 110 S. Business Park Dr Phone No.: 920-564-3341

Contractor's Name: Rich Line Builders Contractor's Mailing Address: 11023 Kneppath Rd. Phone No.: 920-994-9811

City, State & Zip Code: Cedar Grove, WI 53013 Email: tr.richline@gmail.com

Dwelling Contractor Certification No.: 5912 Dwelling Contractor Qualifier Certification No.: 1070969

Please check project type

New**	<input checked="" type="checkbox"/>	Addition**	<input type="checkbox"/>	Job Description: <u>New construction condo</u>
Alteration*	<input type="checkbox"/>	Repair	<input type="checkbox"/>	

Size _____ X _____ Sq. Ft. 11600 Height _____ Est. Value of Project \$ 400,000

***ITEM WHICH MUST ACCOMPANY THIS APPLICATION:**

- 1 set of building plans drawn to scale.

****ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:**

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

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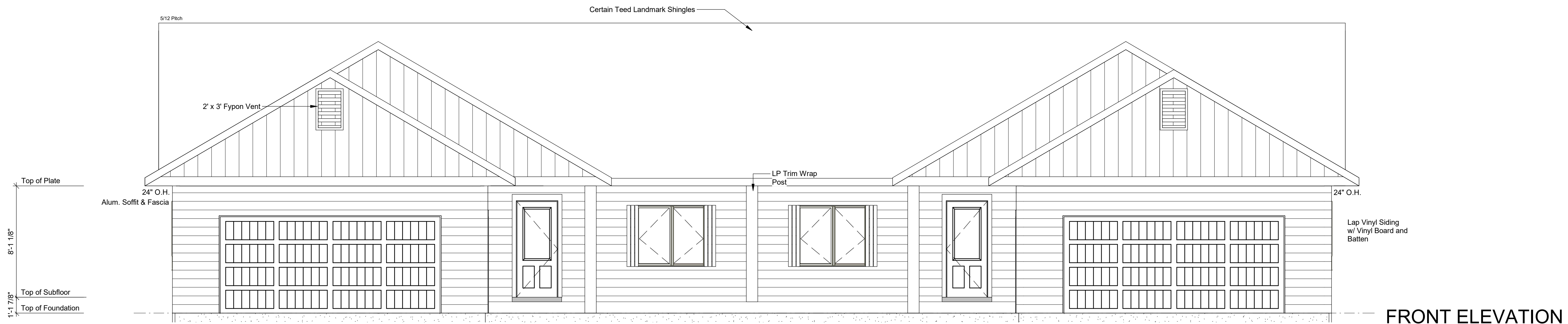
DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Amy DeBly DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Top of Plate
8'-1 1/8"
Top of Subfloor
1'-1 7/8"
Top of Foundation



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

NOTICE:
THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.
FIELD TREE CONSTRUCTION

DATE:

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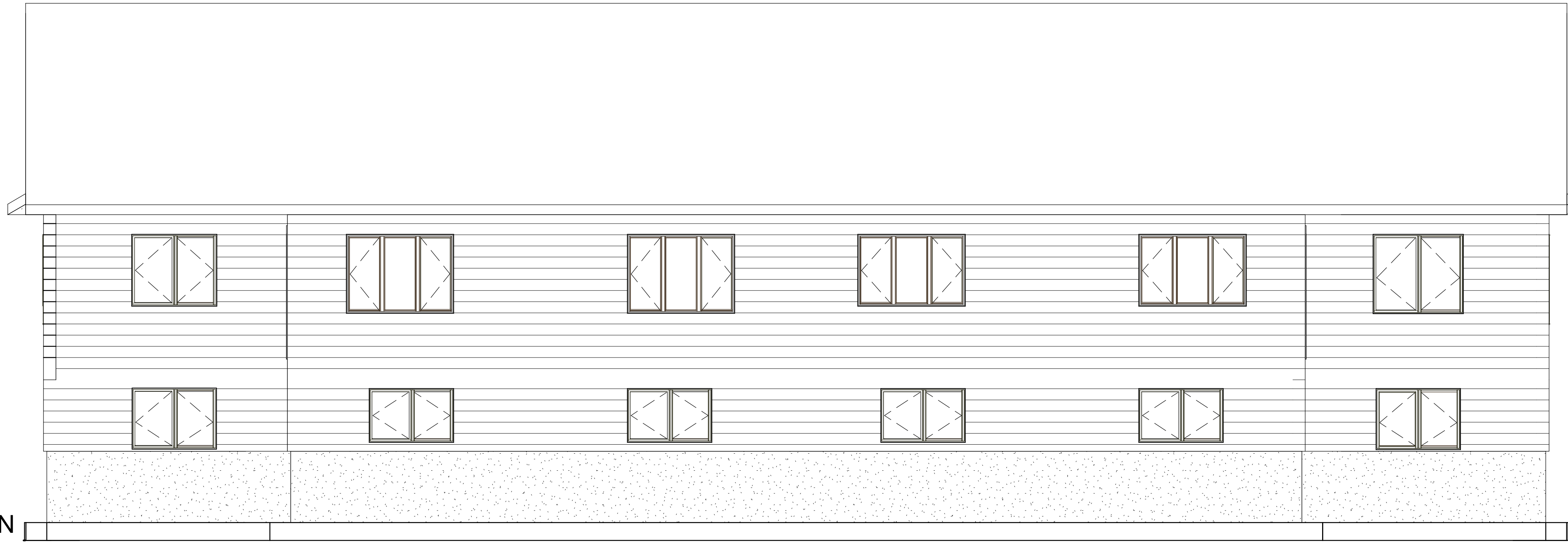
FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:
**RANDOM LAKE -
THE WOODLAND**

DRAWN BY:
Breanna Turner
breanna@coastburgconcrete.com
110 SOUTH BUSINESS PARK DRIVE
COASTBURG, WI 53070

PAGE:
1 OF 5

REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



DRAWN BY:

Breanna Turner

breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
COASTBURG, WI 53070

PROJECT FOR:

RANDOM LAKE -
THE WOODLAND

PAGE:

2 OF 5

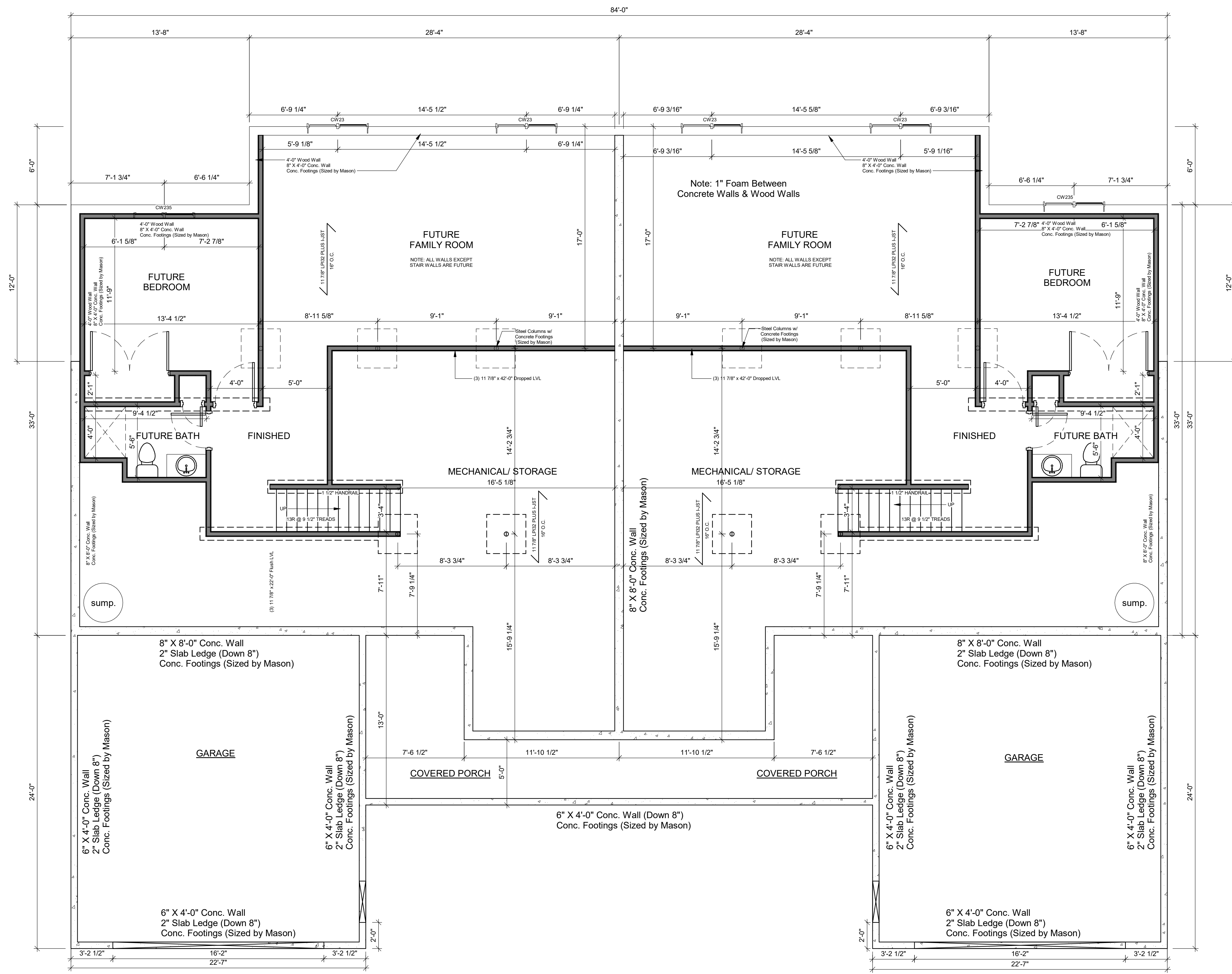
DATE:

FIELDtree
CUSTOM CONSTRUCTION

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REPRODUCTION OR OTHER
USE IS STRICTLY PROHIBITED
WITHOUT THE EXPRESSED
WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION



GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

FOUNDATION PLAN NOTES

- ALL FOOTINGS TO BE A MINIMUM OF 48\" BELOW GRADE AND SIZED AS REQUIRED BY SOIL CONDITIONS AND LOCAL BUILDING CODES.
- ADD 3\" TO WIDTH AND HEIGHT OF ALL WINDOWS. ADD 1 1/2\" TO THE HEIGHT AND 3\" TO THE WIDTH OF ALL DOORS TO ALLOW FOR MASONRY ROUGH OPENING.

NOTE
Add 3\" to Width and Height of all windows. Add 1 1/2\" to the Height and 3\" to the Width of all Doors to Allow for Masonry Rough Opening.

ALL DESIGN AND PLACEMENT OF ALL CONCRETE WORK - BY OTHERS

BASEMENT
SCALE: 1/4\" = 1'-0\"

NOTICE:

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FIELD TREE CONSTRUCTION

DATE:

FIELDTree
CUSTOM CONSTRUCTION

PROJECT FOR:

RANDOM LAKE - THE WOODLAND

DRAWN BY:
Breanna Turner
breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
COASTBURG, WI 53070

PAGE:
3 OF 5

FIGURE 321.25C
LOCATION OF BRACED WALL PANELS ALONG A BUILDING SIDE

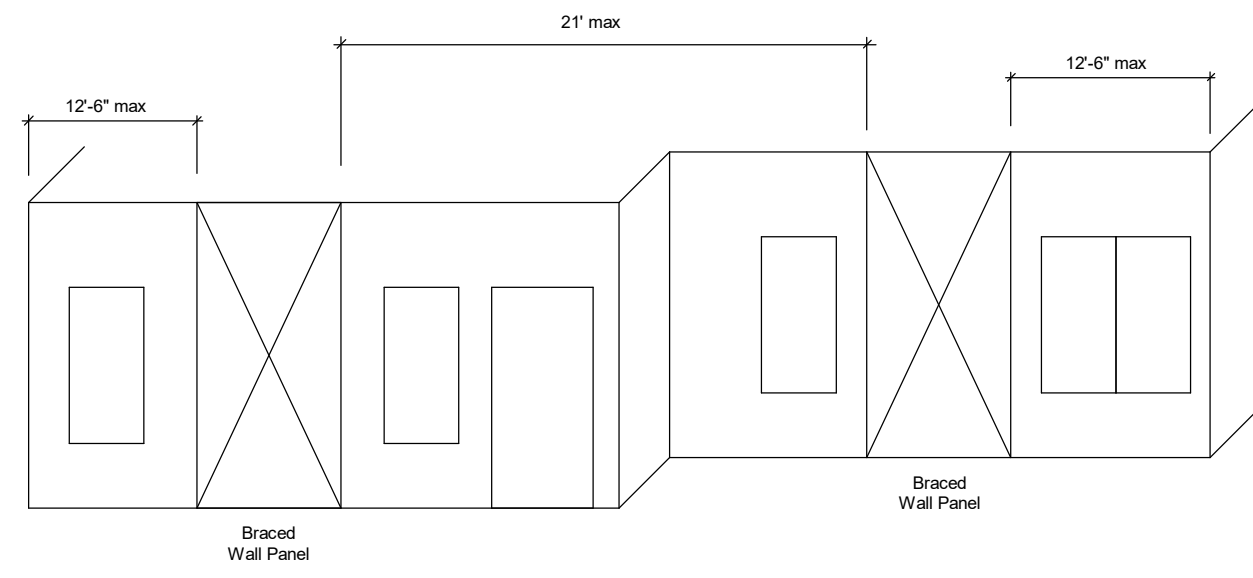


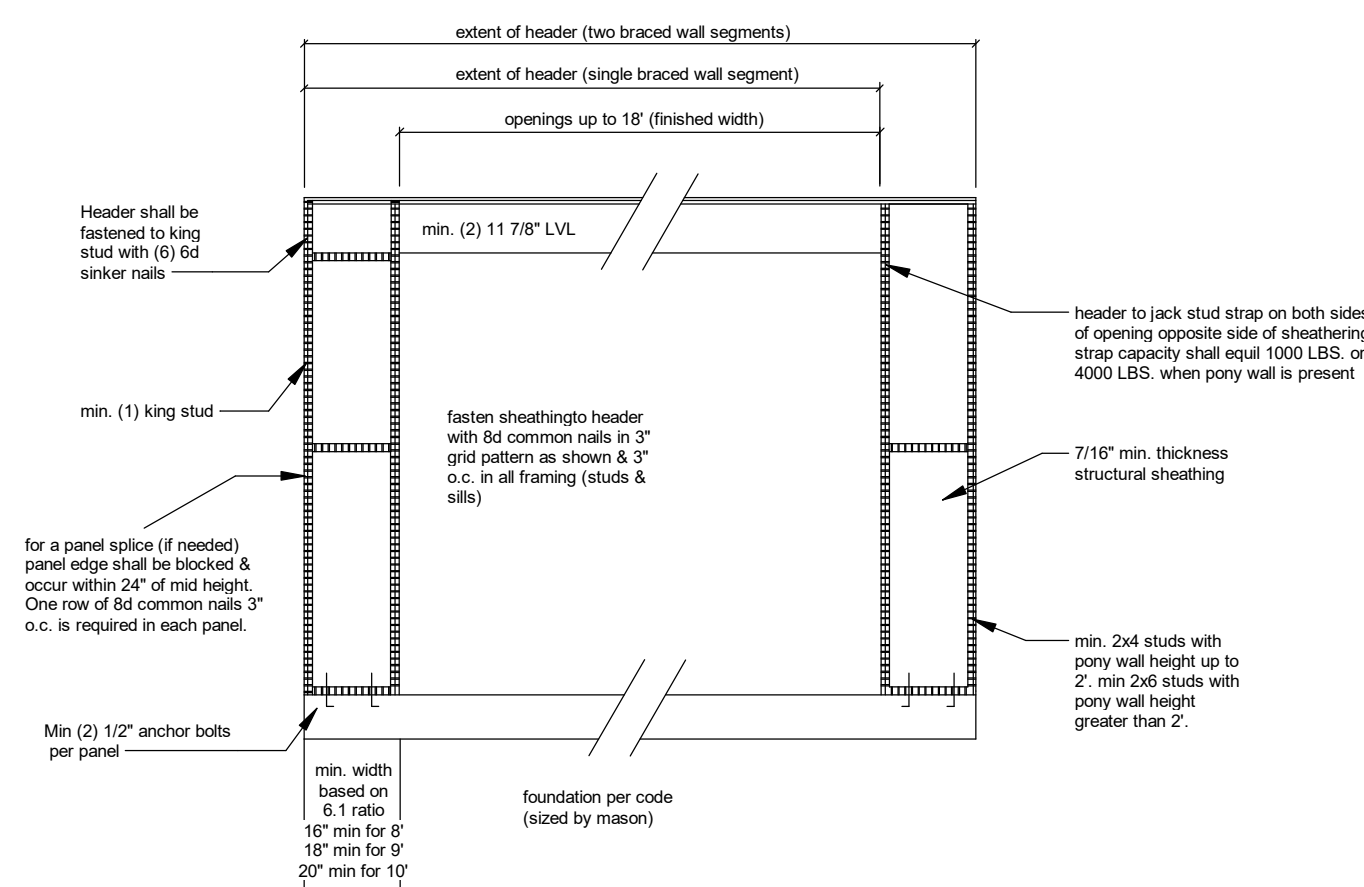
Table 321.25-G
BRACING METHODS

Method	Minimum Brace Thickness or Size	Maximum Normal Wall Height	Minimum Braced Wall Panel Width or Braced Angle	Connection Criteria	
				Minimum Fasteners	Maximum Spacing
Intermittent Bracing Methods					
WSP Wood Structural Panel	3/8" for maximum 16' o.c. stud spacing 7/16" for maximum 24" o.c. stud spacing	10'	48" with Gypsum on interior 80" without Gypsum on interior	6d common nail or 8d box nail (2-1/2" long x 0.113" diameter) or 7/16" crown 18 gage staples, 1 1/4" long	6" edges, 12" field (nails) 3" edges, 6" field (staples)
GB Gypsum board (installed on both sides of Wall)	1/2" maximum 24" o.c. stud spacing	10'	96"	5d collar nails, or 6" screws	7" edges, 7" field (including top and bottom plates)
Continuous Sheathed Bracing Methods					
CS-WSP Continuous Sheathed WSP	3/8" for maximum 16' o.c. stud spacing 7/16" for maximum 24" o.c. stud spacing	12'	Refer to Table 321.25-H	Same as WSP	Same as WSP
Narrow Panel Bracing					
PF Portal Frame	7/16"	12'	Refer to Figure 321.25-A	Refer to Figure 321.25-A	Refer to Figure 321.25-A

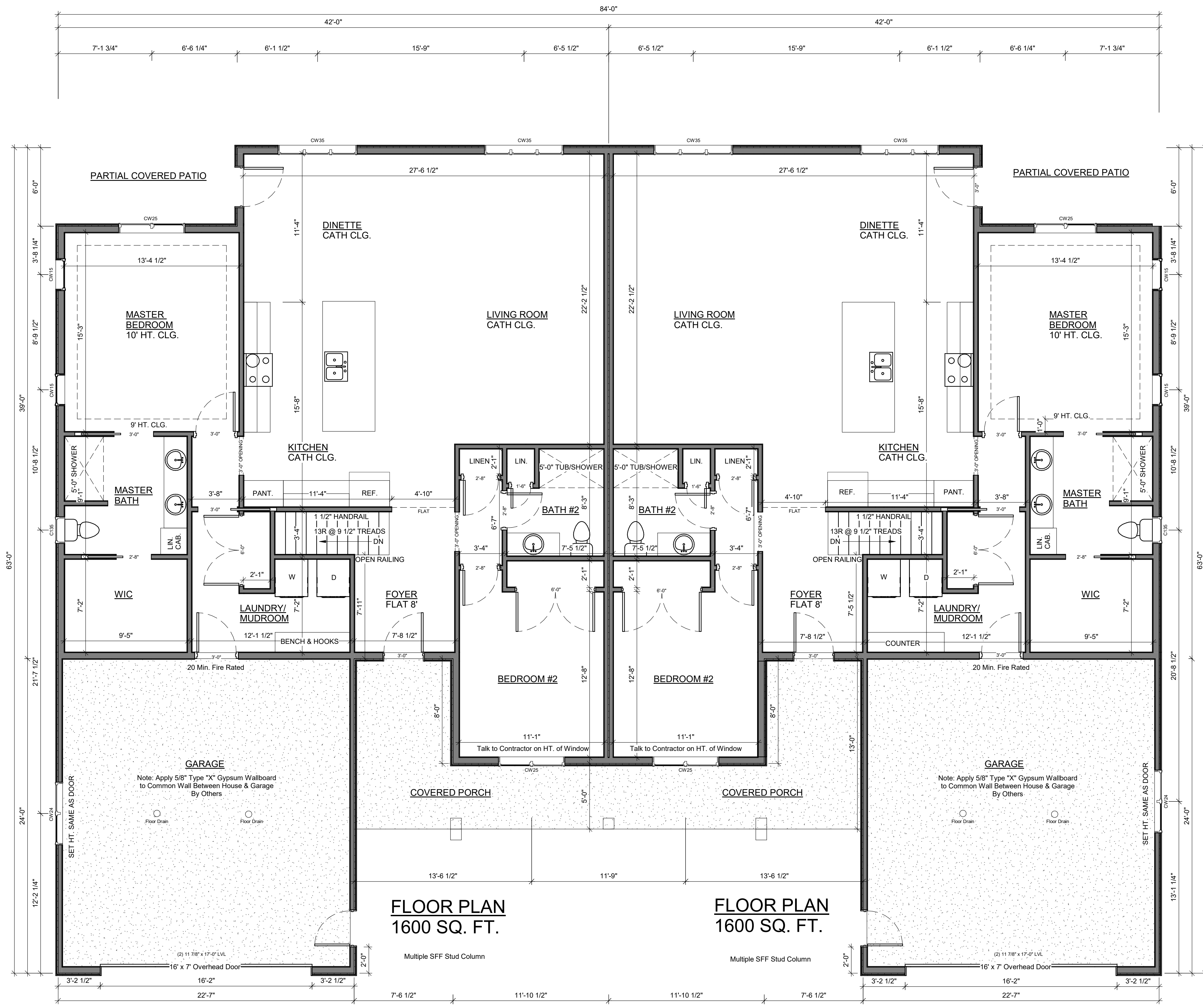
Table 321.25-H
MINIMUM WIDTHS OF METHOD CS-WSP BRACED WALL PANELS

Maximum Opening Height Adjustment to Braced Wall Panel	Minimum Length of Braced Wall Panel (inches)			
	8' Tall Wall	9' Tall Wall	10' Tall Wall	12' Tall Wall
Up to 5' - 4"	24	27	30	36
Up to 6' - 8"	32	30	30	36
Up to 8'	48	41	38	36
Up to 9'	-	54	46	41
Up to 10'	-	-	60	48
Up to 12'	-	-	-	72

Figure 321.25-A
METHOD PF - PORTAL FRAME BRACE CONSTRUCTION



NOTE:
All dimensions are face of stud to face of stud 2x4 (3 1/2"), 2x6 (5 1/2").
All window header heights to be set at 6'-10 7/8" unless otherwise noted.
All bearing headers to be (2) 2x12's, unless otherwise noted.
All exterior window and door sizes are Rough Openings.
All wall heights to be 8'-1 1/8" unless otherwise noted.



NOTICE:

THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

DATE:

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:

RANDOM LAKE - THE WOODLAND

DRAWN BY:
Breanna Turner
breanna@coastguardconcrete.com

110 SOUTH BUSINESS PARK DRIVE
COAST GUARD, WI 53070

PAGE:
4 OF 5



DRAWN BY:

Breanna Turner

breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
COASTBURG, WI 53070

PROJECT FOR:

RANDOM LAKE -
THE WOODLAND

PAGE:

5 OF 5

DATE:

FIELDtree

CUSTOM CONSTRUCTION

NOTICE:

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EXCLUSIVELY FOR THE USE
OF OUR CUSTOMERS. ANY
REPRODUCTION OR OTHER
USE IS STRICTLY PROHIBITED
WITHOUT THE EXPRESSED
WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

Exterior colors and products for Units 7/8 Raybern Court (Lot 4)

515-517

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Dark Gray

Anderson casement windows: white

Exterior colors and products for Units 21/22 Raybern Ct (Lot 11)

540-542

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

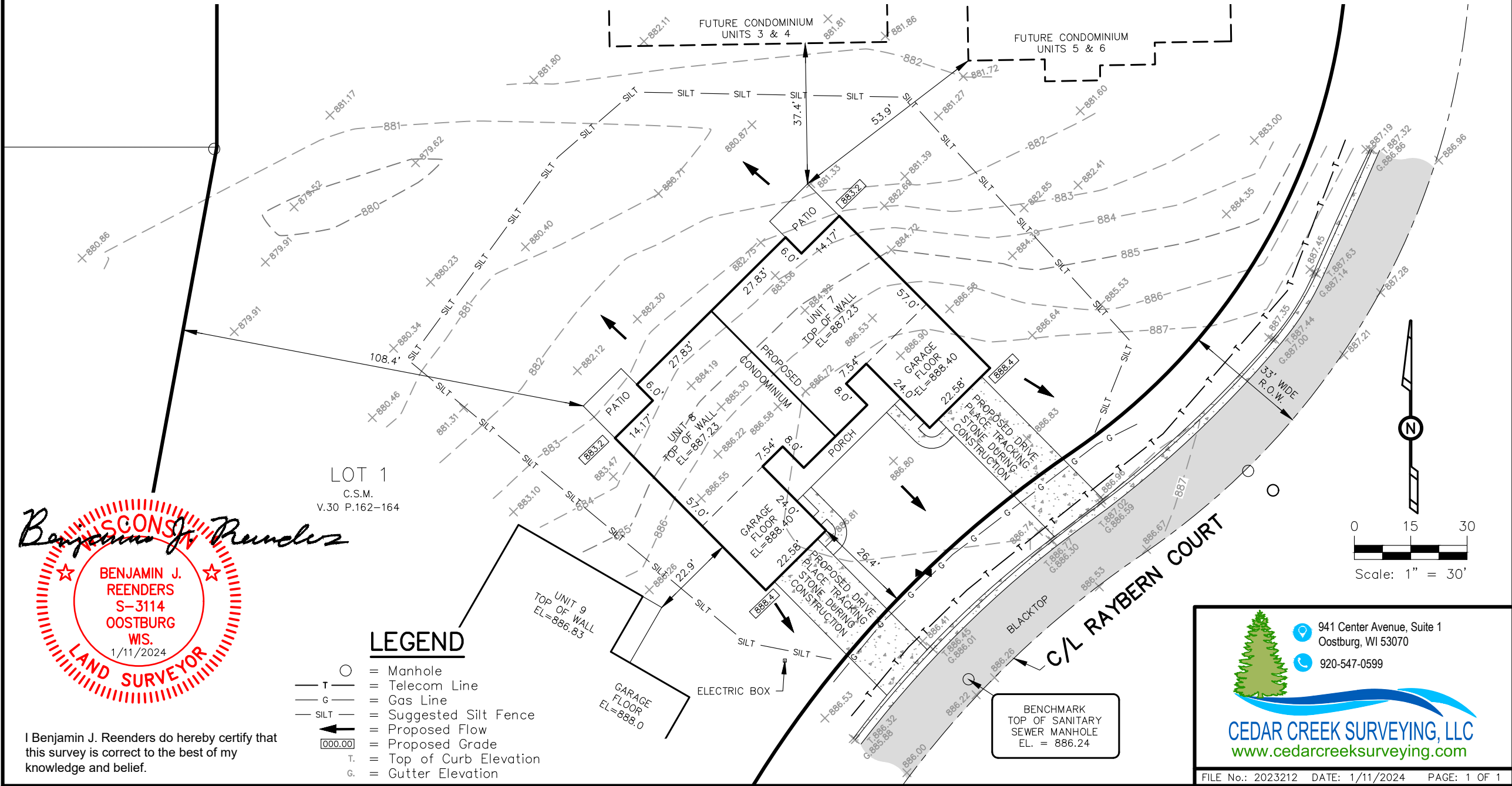
Vinyl siding: Brown

Anderson casement windows: white

PLAT OF SURVEY

FOR: Field Tree Construction

Units 7 & 8, Raybern Condominium, Recorded in V.15 P.49-50, Part of the SW 1/4 of the SE 1/4,
Section 35, T13N, R21E, Village of Random Lake, Sheboygan County, Wisconsin.



Benjamin J. Reenders
WISCONSIN
BENJAMIN J. REENDERS
S-3114 OOSTBURG WIS.
LAND SURVEYOR
 1/11/2024

LOT 1
 C.S.M.
 V.30 P.162-164

LEGEND

- = Manhole
- T — = Telecom Line
- G — = Gas Line
- SILT — = Suggested Silt Fence
- = Proposed Flow
- 000.00 = Proposed Grade
- T. = Top of Curb Elevation
- G. = Gutter Elevation

I Benjamin J. Reenders do hereby certify that this survey is correct to the best of my knowledge and belief.

BENCHMARK
 TOP OF SANITARY
 SEWER MANHOLE
 EL. = 886.24

941 Center Avenue, Suite 1
 Oostburg, WI 53070
 920-547-0599
CEDAR CREEK SURVEYING, LLC
www.cedarcreeksurveying.com
 FILE No.: 2023212 DATE: 1/11/2024 PAGE: 1 OF 1



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite: 517 Ray Bern Ct. (Lot 4)

Owner's Name: Field Tree Construction Mailing Address (if different from project location above): 110 S. Business Park Dr. Phone No.: 920-564-3341

Contractor's Name: Rich Line Builders Contractor's Mailing Address: N1023 Kneppath Rd. Phone No.: 920-994-9811

City, State & Zip Code: Cedar Grove, WI 53013 Email: tr.richline@gmail.com

Dwelling Contractor Certification No.: 5912 Dwelling Contractor Qualifier Certification No.: 1070969

Please check project type

New**	<input checked="" type="checkbox"/>	Addition**	<input type="checkbox"/>	Job Description: <u>new construction condo</u>
Alteration*	<input type="checkbox"/>	Repair	<input type="checkbox"/>	

Size _____ X _____ Sq. Ft. 1600 Height _____ Est. Value of Project \$ 400,000

***ITEM WHICH MUST ACCOMPANY THIS APPLICATION:**

- 1 set of building plans drawn to scale.

****ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:**

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2nd Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3rd Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Angie DeBluy DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

PAID BY: _____	FOR OFFICE USE: CHECK NO. _____	AMT PD _____	DATE _____
----------------	------------------------------------	--------------	------------

FEE SCHEDULE WORKSHEET

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____



Residential Building Permit Application

Jobsite: 540 Raybern Ct. (Lot 11)

Field Tree Construction 110 S. Business Park Dr. 920-564-3341
 Owner's Name Mailing Address (if different from project location above) Phone No.

Rich Line Builders N1023 Knepprath Rd. 920-994-9811
 Contractor's Name Contractor's Mailing Address Phone No.

Cedar Grove, WI 53013 tr.richline@gmail.com
 City, State & Zip Code Email

5912 1070969
 Dwelling Contractor Certification No. Dwelling Contractor Qualifier Certification No.

Please check project type

New**	<input checked="" type="checkbox"/>	Addition**		Job Description: <u>New construction condo</u>
Alteration*		Repair		

Size _____ X _____ Sq. Ft. 1338 Height _____ Est. Value of Project \$ 375,000

***ITEM WHICH MUST ACCOMPANY THIS APPLICATION:**

- 1 set of building plans drawn to scale.

****ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:**

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2nd Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3rd Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE [Signature] DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

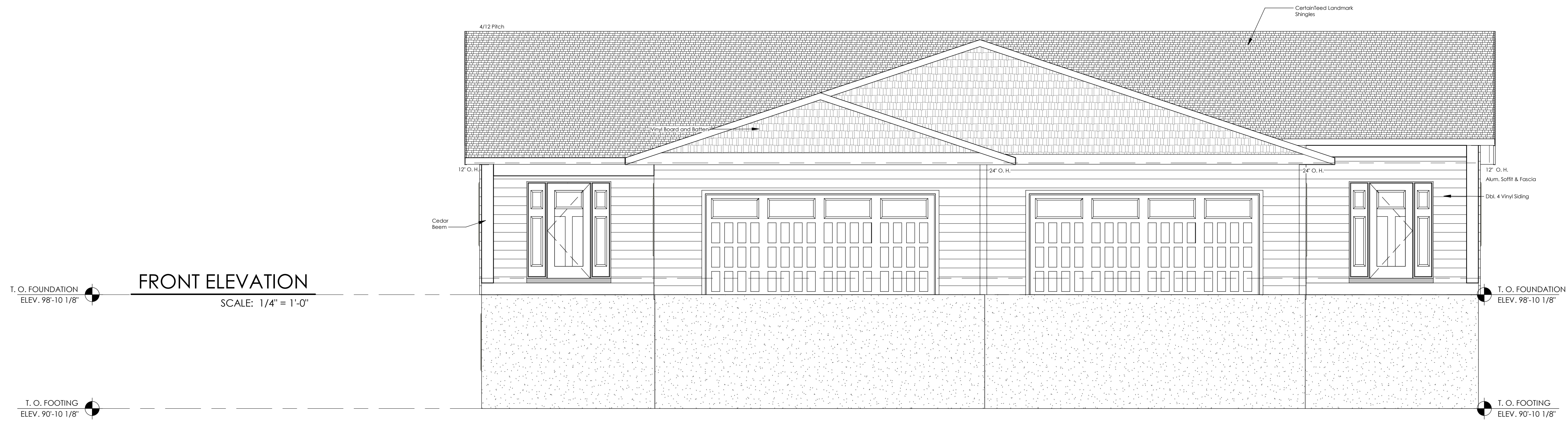
Permit No. _____

PAID BY: _____	FOR OFFICE USE: CHECK NO. _____	AMT PD _____	DATE _____
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FEE SCHEDULE WORKSHEET

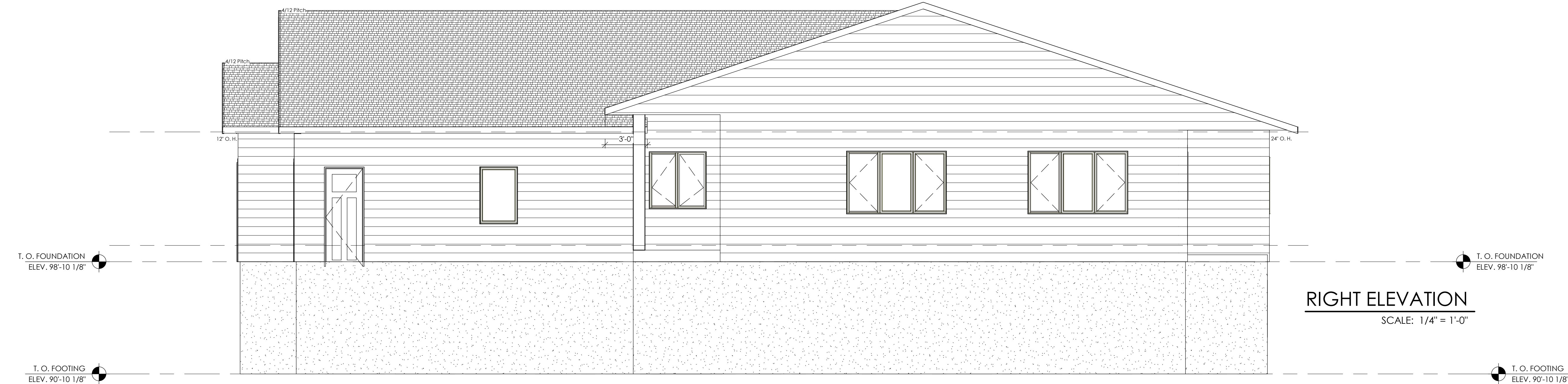
ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

NOTICE:
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FIELD TREE CONSTRUCTION

DATE: 11/28/23

FIELDtree
 CUSTOM CONSTRUCTION

PROJECT FOR:
WOODLAND VIEW - LOT 11 - UNIT 21 & 22

DRAWN BY:
Breanna Turner
 breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
 COASTBURG, WI 53070

PAGE:
1 OF 5



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

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FIELD TREE CONSTRUCTION

DATE: 11/28/23

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:
**WOODLAND
VIEW - LOT 11 -
UNIT 21 & 22**

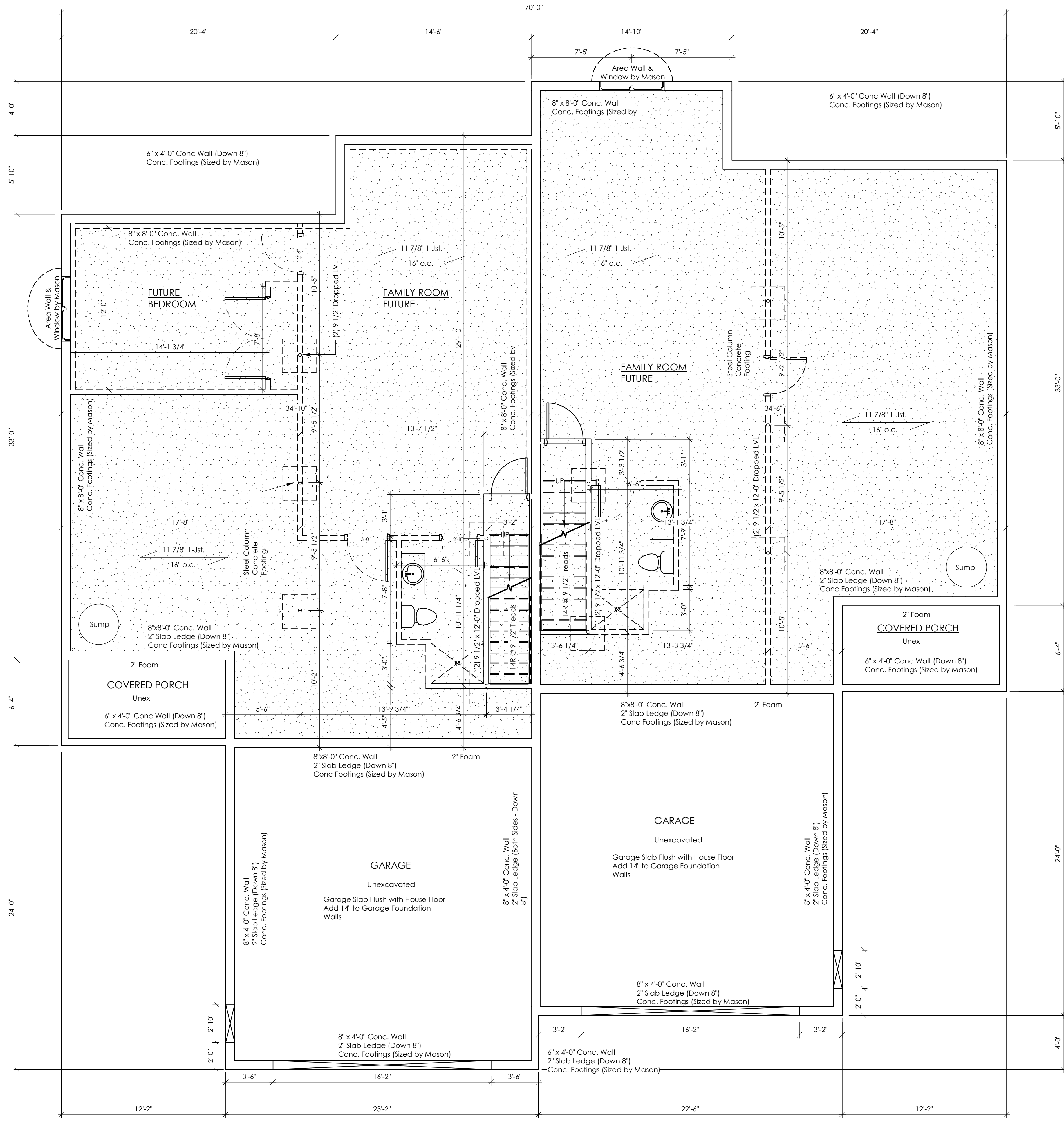
DRAWN BY:
Breanna Turner
breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
COASTBURG, WI 53070

PAGE:
2 OF 5

Note:
Add 3" to Width and Height
of all Windows. Add 1 1/2" to
the
Height and 3" to the Width of
all Doors to allow for

NOTE:
ALL DESIGN AND PLACEMENT OF
ALL CONCRETE WORK
-BY OTHERS



GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

FOUNDATION PLAN NOTES

- ALL FOOTINGS TO BE A MINIMUM OF 48" BELOW GRADE AND SIZED AS REQUIRED BY SOIL CONDITIONS AND LOCAL BUILDING CODES.
- ADD 3" TO WIDTH AND HEIGHT OF ALL WINDOWS. ADD 1 1/2" TO THE HEIGHT AND 3" TO THE WIDTH OF ALL DOORS TO ALLOW FOR MASONRY ROUGH OPENING.

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FIELD TREE CONSTRUCTION

DATE: 11/28/23

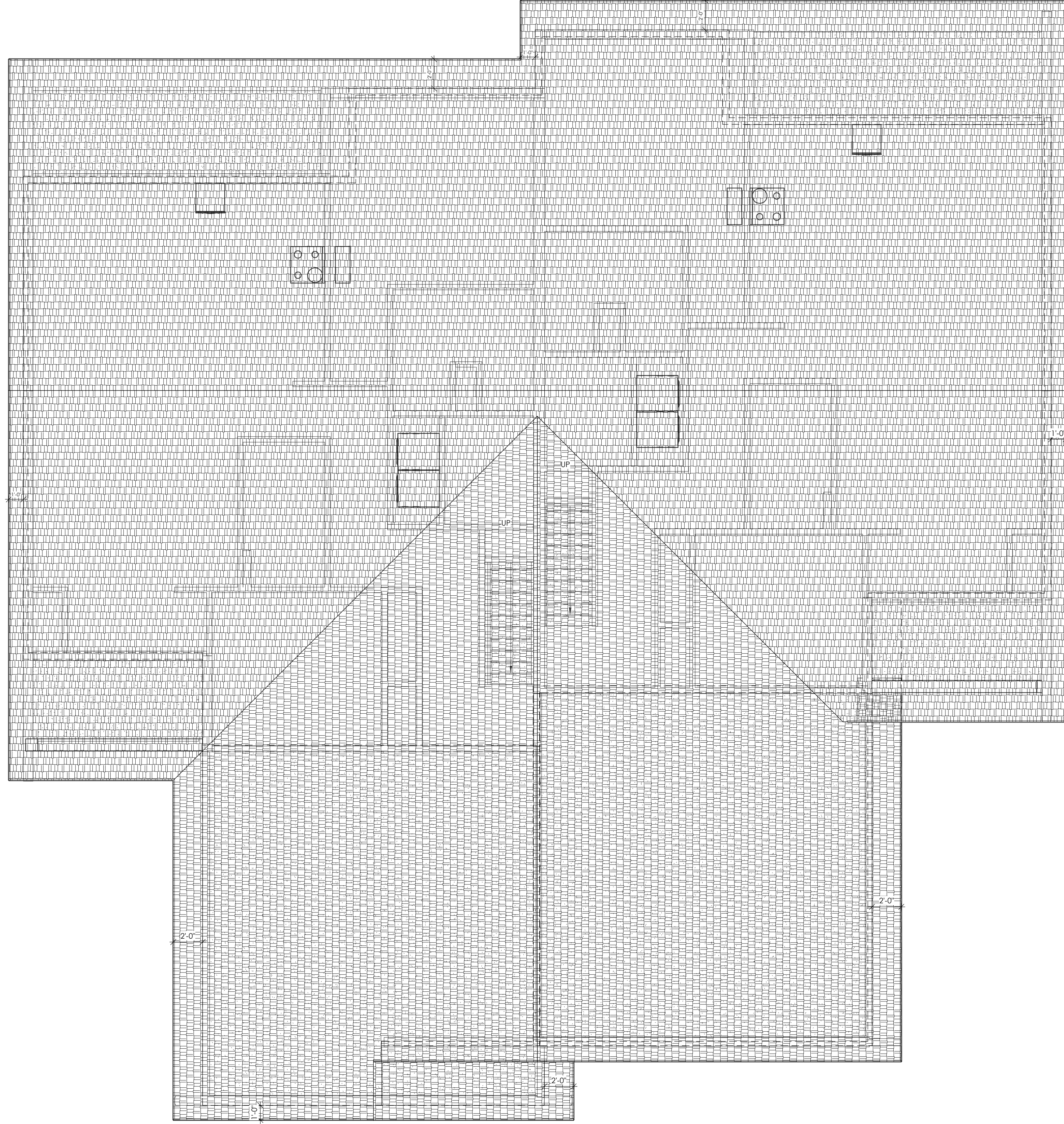
FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:
**WOODLAND
VIEW - LOT 11 -
UNIT 21 & 22**

DRAWN BY:
Breanna Turner
breanna@scsburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
COOBSBURG, WI 53070

PAGE:
3 OF 5



NOTE:
 All dimensions are face of stud to face of stud 2x4 (3 1/2"), 2x6 (5 1/2")
 All window header heights to be set at 6'-10 7/8" unless otherwise noted.
 All bearing headers to be (2) 2x12s, unless otherwise noted.

DRAWN BY:
 Breanna Turner
 breanna@coastburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
 COASTBURG, WI 53070

PAGE:
 5 OF 5

PROJECT FOR:
 WOODLAND
 VIEW - LOT 11 -
 UNIT 21 & 22

FIELDtree
 CUSTOM CONSTRUCTION

DATE: 11/28/23

NOTICE:

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FIELD TREE CONSTRUCTION

Exterior colors and products for Units 7/8 Raybern Court (Lot 4)

515-517

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Dark Gray

Anderson casement windows: white

Exterior colors and products for Units 21/22 Raybern Ct (Lot 11)

540-542

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Brown

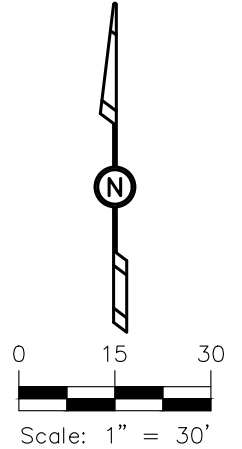
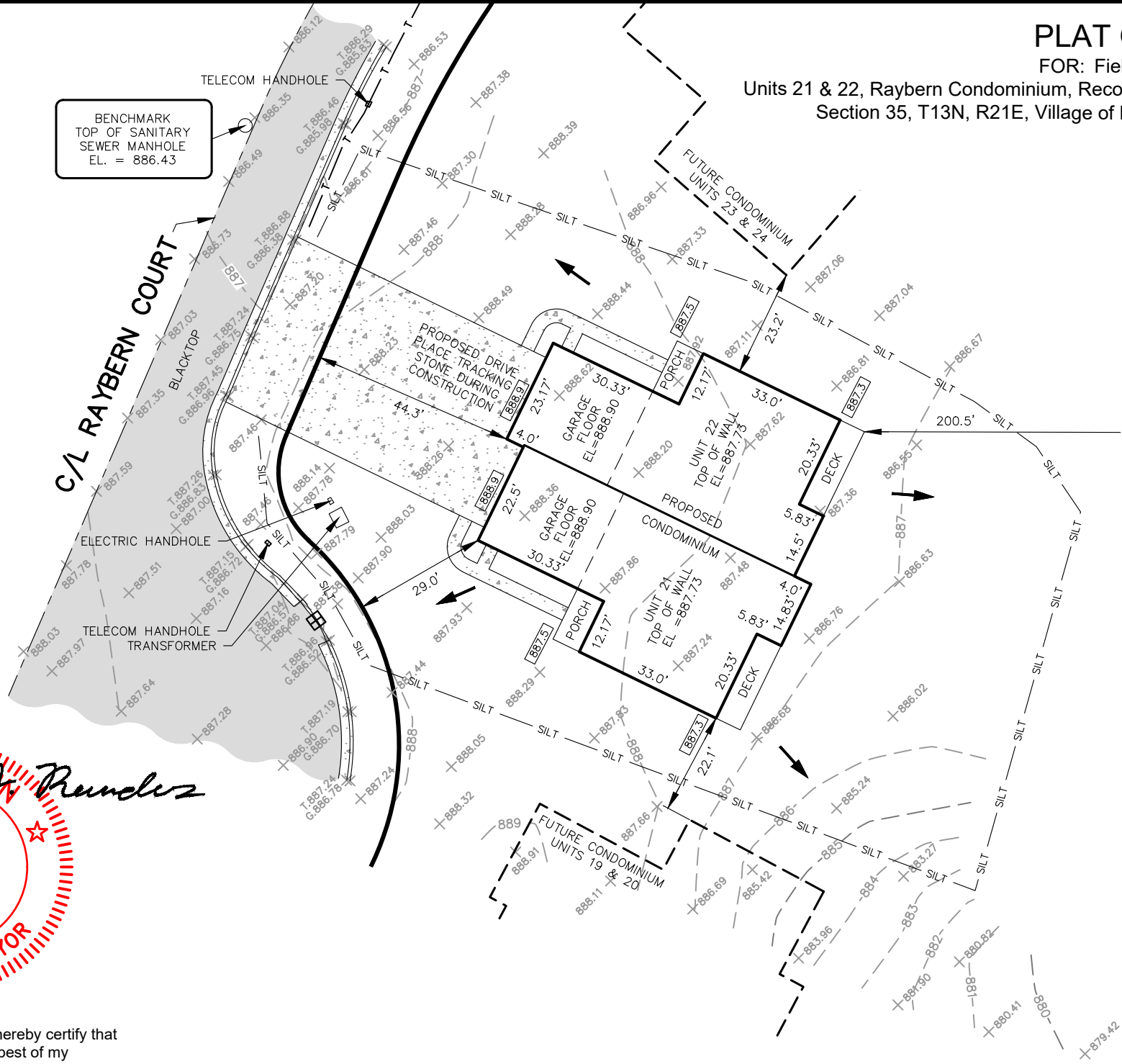
Anderson casement windows: white

PLAT OF SURVEY

FOR: Field Tree Construction

Units 21 & 22, Raybern Condominium, Recorded in V.15 P.49-50, Part of the SW 1/4 of the SE 1/4, Section 35, T13N, R21E, Village of Random Lake, Sheboygan County, Wisconsin.

BENCHMARK
TOP OF SANITARY
SEWER MANHOLE
EL. = 886.43



LEGEND

- = Manhole
- = Catch Basin
- = Telecom Line
- = Suggested Silt Fence
- = Proposed Flow
- = Proposed Grade
- T. = Top of Curb Elevation
- G. = Gutter Elevation



I Benjamin J. Reenders do hereby certify that this survey is correct to the best of my knowledge and belief.

CEDAR CREEK SURVEYING, LLC
www.cedarcreeksurveying.com

941 Center Avenue, Suite 1
Oostburg, WI 53070
920-547-0599

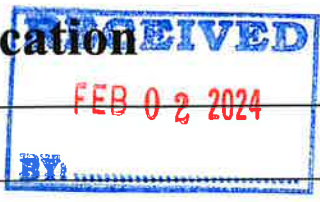
FILE No.: 2023213 DATE: 1/11/2024 PAGE: 1 OF 1



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite: 542 Ray Bern Ct. (Lot 11)

Field Tree Construction 110 S. Business Park Dr. 920-564-3341
Owner's Name Mailing Address (if different from project location above) Phone No.

Rich Line Builders N1023 Knepprath Rd. 920-994-9811
Contractor's Name Contractor's Mailing Address Phone No.

Cedar Grove, WI 53013 tr.richline@gmail.com
City, State & Zip Code Email

5912 1070969
Dwelling Contractor Certification No. Dwelling Contractor Qualifier Certification No.

Please check project type

New**	<input checked="" type="checkbox"/>	Addition**	<input type="checkbox"/>	Job Description: <u>New construction condo</u>
Alteration*	<input type="checkbox"/>	Repair	<input type="checkbox"/>	

Size _____ X _____ Sq. Ft. 1338 Height _____ Est. Value of Project \$ 375,000

*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

**ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

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DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Amey DeBluy DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

FOR OFFICE USE:
PAID BY: _____ CHECK NO. _____ AMT PD _____ DATE _____

FEE SCHEDULE WORKSHEET

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
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18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application

Jobsite:	Lot 7, East Shore Drive, Random Lake, WI
-----------------	--

Charles J. & Barbara J. Mueller	12 Orth Drive, Random Lake, WI 53075	414-550-1668 - Chuck
Owner's Name	Mailing Address (if different from project location above)	Phone No.
JH Universal Construction LLC	5038 Cal Drive	262-305-5490 - Joe Herther
Contractor's Name	Contractor's Mailing Address	Phone No.
West Bend, WI 53095	info@jhuniversal.com	
City, State & Zip Code	Email	
091200027	09200014	
Dwelling Contractor Certification No.	Dwelling Contractor Qualifier Certification No.	

Please check project type

<input checked="" type="checkbox"/> New**	x	<input type="checkbox"/> Addition**		Job Description: New home build
<input type="checkbox"/> Alteration*		<input type="checkbox"/> Repair		

Size 74' 1/2" X 95' 9 1/4" Sq. Ft. 6,881 Height 32 Est. Value of Project \$ \$1,564,245

***ITEM WHICH MUST ACCOMPANY THIS APPLICATION:**

- 1 set of building plans drawn to scale.

****ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:**

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
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Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Joseph Herther DATE 2-13-24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

FOR OFFICE USE:			
PAID BY: _____	CHECK NO. _____	AMT PD _____	DATE _____

FEE SCHEDULE WORKSHEET

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
			Sub Total:	
21	Architectural Review Board/Planning Commission		\$280.00	
			Grand Total:	

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections

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 NOT FOR PERMIT
 NOT FOR CONSTRUCTION



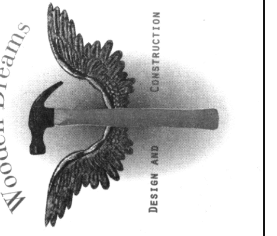
1 FRONT ENTRY/GARAGE
 A-1 NO SCALE

NEW HOME:
 BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

A-1

ISSUE/REVISION

A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



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 1883 SIOUX BLVD.
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① LAKE/KITCHEN SIDE
 A-2 NO SCALE

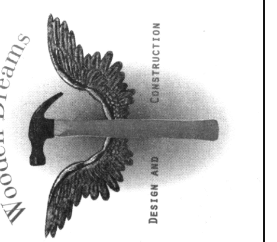


② LOWER GARAGE/LAKE SIDE
 A-2 NO SCALE



③ GARAGE/LOWER GARAGE
 A-2 NO SCALE

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ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:
 BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

A-2

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1 FRONT
A-3

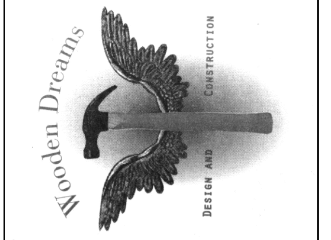
3/8" = 1'-0"

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-3

ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



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NOT FOR CONSTRUCTION

1
A-4 KITCHEN SIDE

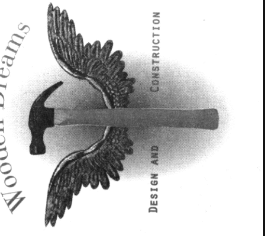
1/4" = 1'-0"

NEW HOME:
 BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

A-4

ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



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1
 A-5 LAKE SIDE

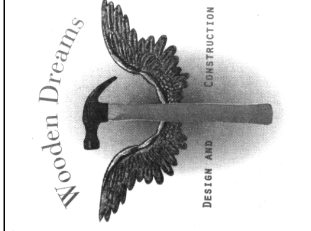
3/8" = 1'-0"

NEW HOME:
 BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

A-5

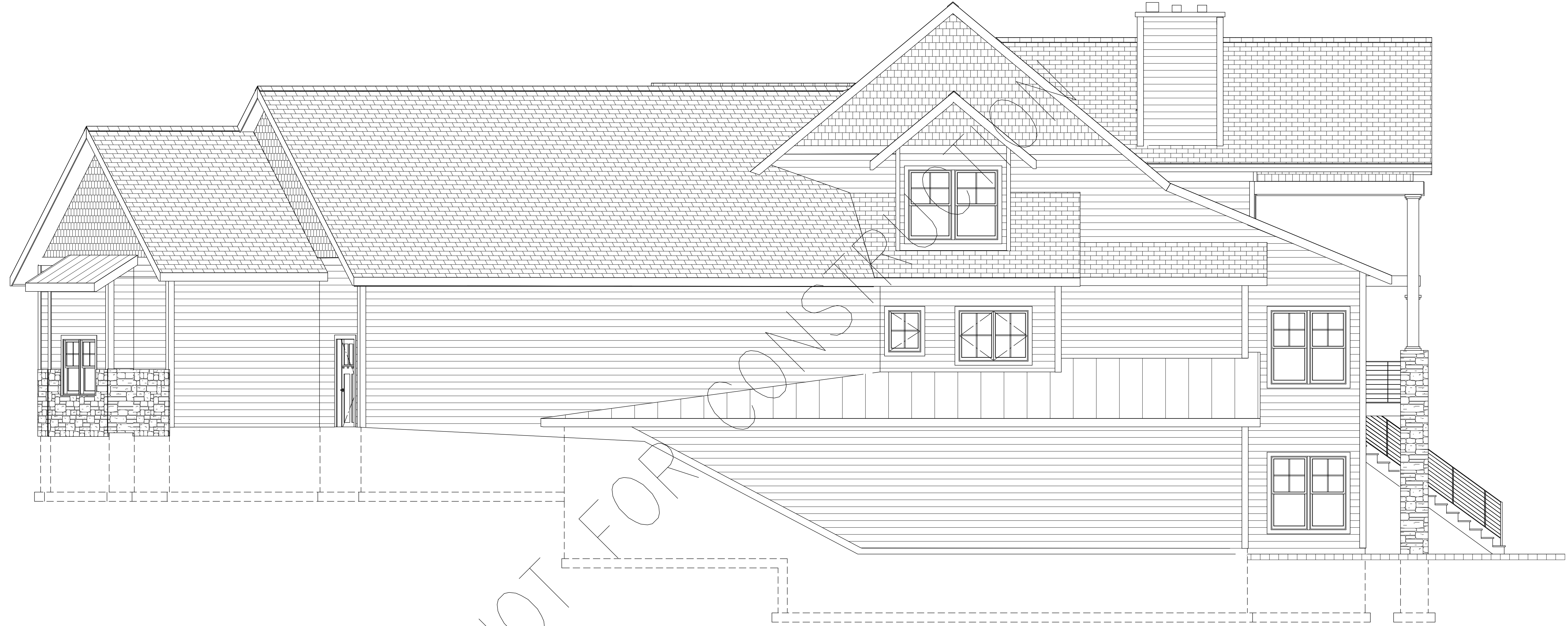
ISSUE/REVISION

A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



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NOT FOR CONSTRUCTION

1
A-6 LOWER GARAGE SIDE

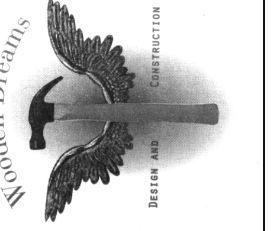
1/4" = 1'-0"

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-6

ISSUE/REVISION

ISSUE/REVISION	1/16/23	BID SET
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



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1883 SIOUX BLVD.
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BID SET ONLY – NOT FOR PERMIT NOT FOR CONSTRUCTION

GENERAL NOTES:

1. BID SET ONLY – NOT FOR PERMIT – NOT FOR CONSTRUCTION. PLANS ARE CONCEPTUAL DESIGN STAGE ONLY. ALL ELEVATIONS AND PLANS INCLUDING SECTIONS FOR BID SET ARE REPRESENTATIONAL.

FURTHERANCE OF PLANS REQUIRES COORDINATION AND INFORMATION PROVIDED BY TRUSS MFR., STRUCTURAL ENGINEER (CURRENTLY LICENSED IN THE STATE OF PROJECT) SURVEYOR, SOIL TESTING COMPANY AND BUILDER/CONTRACTOR.

2. FOR BIDDING PURPOSES ALL EXTERIOR STUD WALLS AND INTERIOR LOAD BEARING WALLS TO BE SPF #2 AND BETTER. EXTERIOR SHEATHING TO BE 1/2" PLYWOOD. 30# FELT IN PLACE OF AIR FILTRATION BARRIER, SUBFLOOR TO BE 3/4" T&G PLYWOOD. FLOORING UNDERLAYMENT TO BE 3/8" AC PLYWOOD IN AREAS OF LVT AND CARPET (NOT SHOWN ON PLAN). ROOF SHEATHING TO BE 1/2" OSB. FINAL STUD TYPES AND SHEATHING/DECKING TO BE DETERMINED BY STRUCTURAL ENGINEER. INTERIOR AND EXTERIOR STONE TO BE CULTURED STONE. LP SIDING AND TRIM.

3. INTERIOR TIMBER DESIGN ON PLANS IS PURELY FOR GRAPHICAL PURPOSES AND FINAL DESIGN TO BE COORDINATED BETWEEN TIMBER DESIGNER/SUPPLIER, E.O.R., BUILDER AND OWNER.

4. FOUNDATION DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE FOUNDATION WALL. EXTERIOR DOOR/WINDOWS ON FOUNDATION PLAN AND FRAMING PLANS ARE TO FACE OF STUDS – INTERIOR DIMENSIONS ARE TO FACE OF STUDS. HOLD-OUTS FOR GARAGE O.H DOORS AND SERVICE DOOR LOCATIONS TO BE VERIFIED.

5. CEILING AND WALL INSULATION REQUIREMENTS TO BE PER LOCAL CODE. SPRAY FOAM ALL RIM AREAS. SPRAY FOAM INSULATION TO BE A CLOSED CELL SPRAY FOAM. FIRE BARRIER SEALANT AT ALL PENETRATIONS.

6. HEATING CONTRACTOR TO PROVIDE HEAT LOSS CALCULATIONS.

7. DOOR/WINDOW/CABINET/FIXTURE SCHEDULES ARE AUTO-GENERATED. VERIFY SIZES, TYPE, QUANTITY AND LOCATIONS. WINDOWS & PATIO DOORS TO HAVE CLAD EXTERIOR, LOW E2 W/ ARGON, SDL'S AS PER PLAN HARDWARE TO BE DETERMINED. INTERIOR DOORS – TRUSTILE TS3300 OR EQUAL, STICKING TO BE DETERMINED. FRONT DOOR TRUSTILE OR EQUAL W/ ROUND TOP TO LINE UP WITH SIDELIGHTS. GARAGE DOORS TO BE DETERMINED. COORDINATE WITH E.O.R. IF WINDOWS AND DOOR SIZES ARE DIFFERENT THAN PLAN.

8. HYDRONIC IN-FLOOR HEATING TO BE INSTALLED IN LOWER LEVEL WHERE INDICATED, MAIN LEVEL GARAGE AND MASTER BATHROOM.

9. ALL LOADS AND FORCES, INCLUDING BUT NOT LIMITED TO, WIND, SNOW, SEISMIC (WHERE APPLICABLE) HEADERS, BEAMS, STUDS, COLUMNS, TALL/NARROW WALL REQUIREMENTS, FOOTING SIZES, C.I.P. WALL SIZES, CONNECTORS, REINFORCEMENT AND CONCRETE STRENGTH AND TYPE TO BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER WITH A LICENSE IN THE STATE OF CONSTRUCTION.

10. SMOKE ALARMS & CO DETECTORS REQUIRED IN ACCORDANCE WITH CURRENT CODE AND NOT SHOWN ON PLAN.

11. ALL ENGINEERED TRUSSES BY TRUSS DESIGNER/SUPPLIER TO PROVIDE DESIGN, CONNECTION AND LOADING DIAGRAMS, WHERE APPLICABLE. ROOF TRUSS DESIGN WILL INCLUDE WIND AND SNOW LOADS AND FLOOR TRUSS DESIGN WILL INCLUDE ADDED WEIGHT DUE TO APPLICATIONS OF CULTURED STONE VENEER, GRANITE COUNTER TOPS OR GYPCRETE & CERAMIC TILE FLOORING. RECESSED FLOOR IN MASTER BATH FLOOR & ROOF TRUSS FRAMING LAYOUT SHOWN ON PLAN IS PRELIMINARY AND SUBJECT TO DESIGN CHANGES BY TRUSS MFR/SUPPLIER. ANY DISCREPANCIES OR CHANGES TO BE BROUGHT TO THE ATTENTION OF E.O.R. AND THE BUILDER/CONTRACTOR.

12. TRUSS SUPPLIER TO PROVIDE SPACE THROUGH FLOOR TRUSSES FOR HEATING/COOLING DUCTS. TRUSS DESIGN IN MASTER BATHROOM TO ALLOW FOR DROPPED FLOOR.

13. UPPER CHASE IS OFFSET FROM LOWER CHASE. MAINTAIN 1'-0" MIN DISTANCE FROM VALLEY TO LOW SIDE OF CHASE.

14. ALL FLOOR AND ROOF GIRDER TRUSSES, LVLS, JACK/KING STUDS TO BE BLOCKED/POSTED DOWN TO FOUNDATION AND INCLUDED AS PART OF BID, AS WELL AS MISCELLANEOUS LUMBER/LABOR FOR BLOCKING/BRACING PER MFR. SPECS.

15. ALL EXTERIOR/INTERIOR PRODUCTS/MATERIALS/FINISHES ARE TO BE SPECIFIED BY OWNER AND THESE INCLUDE BUT ARE NOT LIMITED TO: CULTURED STONE, SIDING, TRIM, ROOFING, FLOORING, PAINT, CABINETS, COUNTERS, FIREPLACES, HARDWARE, LIGHTING AND LOCATION OF OUTLETS, SWITCHES AND ALL PLUMBING FIXTURES.

16. RADON MITIGATION TO BE DESIGNED AND INSTALLED BY QUALIFIED RADON MITIGATION SPECIALIST IN CONJUNCTION WITH PERIMETER DRAIN TILE & SUMP PIT AND INCLUDED AS PART OF BID.

17. FINAL PLAN LAYOUT, EXTERIOR AND INTERIOR DIMENSIONS, AS WELL AS VERTICAL DIMENSIONS AND INTERIOR AND EXTERIOR ELEVATIONS WILL BE COORDINATED WITH EXISTING SITE CONDITIONS PER SURVEYED SITE PLAN, STRUCTURAL DESIGN, TIMBER FRAMING DESIGN WHERE APPLICABLE AND TRUSS DESIGN REQUIREMENTS.

18. CULTURED STONE VENEER/SIDING/PONY WALLS ON SIDES OF HOUSE ALONG WITH EXTENTS OF FULL HEIGHT CAST IN PLACE CONCRETE WALLS TO BE COORDINATED WITH SITE PLAN WHEN ONE IS PROVIDED WITH PROPOSED FINISHED GRADING.

19. INTERIOR FOOTINGS NOT SUBJECT TO FREEZE/THAW MAY BE THICKENED SLAB – SIZE & REINF. BY STRUCTURAL.

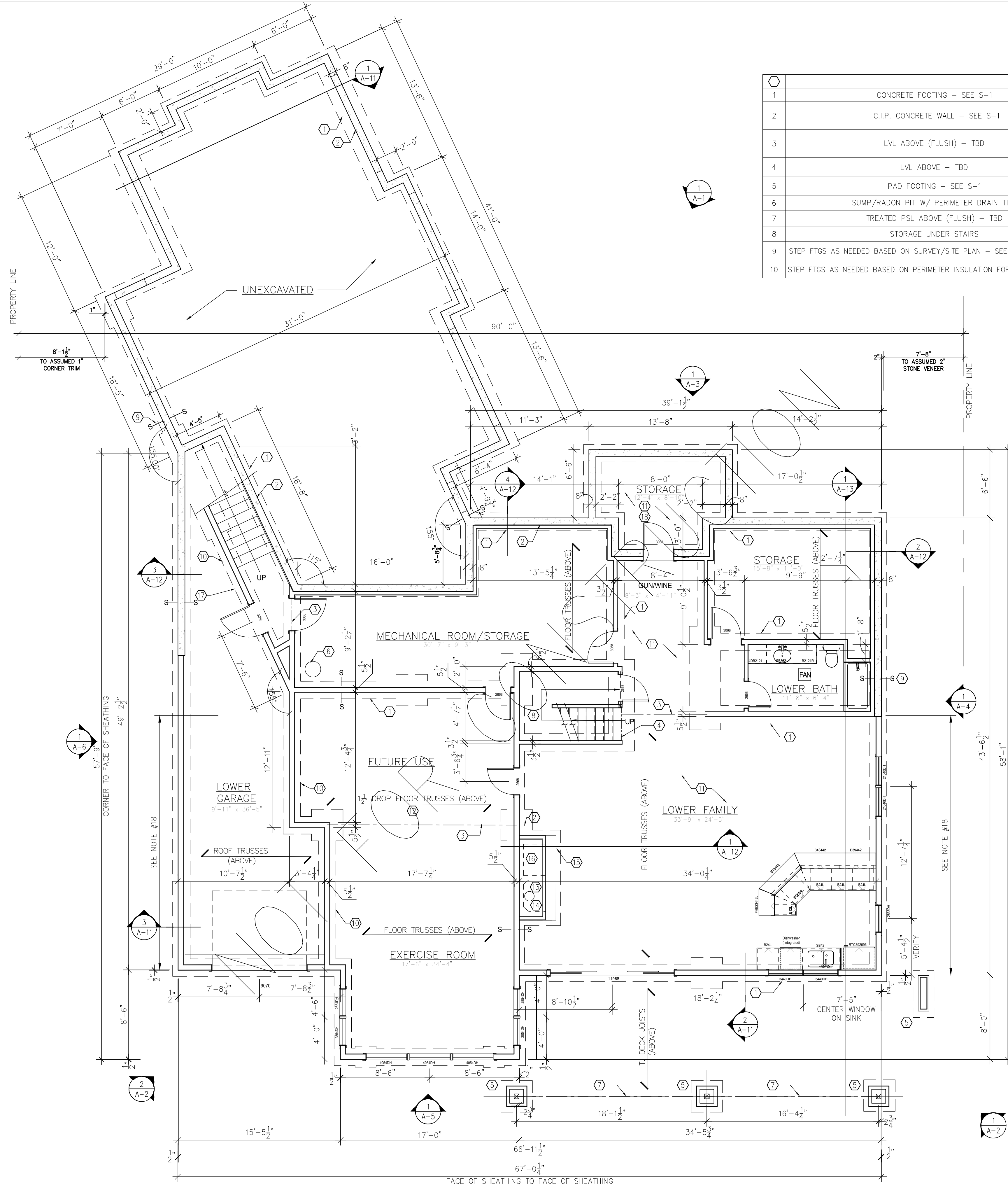
20. OWNER REQUESTED FLOOR DRAINS IN GARAGE. FINAL DESIGN WILL MEET LOCAL ORDINANCE & STATE CODE FOR SUCH SYSTEM AND BE SUBMITTED AND REVIEWED BY LOCAL AND/OR STATE OFFICIAL PRIOR TO INSTALLATION. ACTUAL DRAINAGE SYSTEM INSTALLATION TO BE INSPECTED AND PASSED.

21. CULTURED STONE TO BE SET 6" ABOVE GRADE OR RUN BELOW GRADE W/ RIGID INSULATION UPHEAVAL PROTECTION EXTENDING BELOW FROST LINE.

22. FIREPLACES AND CHASE DESIGN/SIZE IS SUBJECT TO CHANGE BASED ON TRUSS DESIGN, STRUCTURAL REQUIREMENTS, STATE AND LOCAL CODE. AND FIREPLACE/FLUE CLEARANCES AND SPECIFICATIONS.

REVISION C CHANGES:

1. EXTERIOR ELEVATIONS – REMOVED TRANSOM WINDOWS.
2. ROTATED GARAGE 5'.
3. CLEANED UP DIMENSIONS.
4. CHANGED STAIRWAY TO OPEN RAILING.
5. CHANGED ALL DOOR S TO 6'-8" HIGH – VERIFY.
6. REMOVED CABINETRY AND BENCH IN ENTRY.
7. GENERAL CLEAN UP OF PLANS.



KEY NOTES			
1	CONCRETE FOOTING – SEE S-1	11	HYDRONIC IN-FLOOR HEATING WHERE NOTED
2	C.I.P. CONCRETE WALL – SEE S-1	12	TRUSS DESIGNER TO DROP TRUSSES IN MASTER BATH AREA 1 1/2" FOR GYPCRETE AND ALLOW FOR ADDED WEIGHT, SEE GENERAL NOTE #11 & KEY NOTE #19 & #23 MAIN LEVEL
3	LVL ABOVE (FLUSH) – TBD	13	WOOD BURNING FIREPLACE INSERT TBD BY OWNER, SEE GENERAL NOTE #22
4	LVL ABOVE – TBD	14	TIMBER MANTEL – TBD BY OWNER
5	PAD FOOTING – SEE S-1	15	THICKENED SLAB – SEE S-1
6	SUMP/RADON PIT W/ PERIMETER DRAIN TILE	16	WOOD STORAGE SPACE – VERIFY
7	TREATED PSL ABOVE (FLUSH) – TBD	17	FROST FTG W/ CURB
8	STORAGE UNDER STAIRS	18	SIKA WATERSTOPS OR EQ. AS NEEDED
9	STEP FTGS AS NEEDED BASED ON SURVEY/SITE PLAN – SEE GENERAL NOTE #18	-	
10	STEP FTGS AS NEEDED BASED ON PERIMETER INSULATION FOR FROST PROTECTION	-	

1 WALKOUT LEVEL/FOUNDATION
3/16" = 1'-0"

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NEW BRIGHTON, MN 55112 651-636-7645

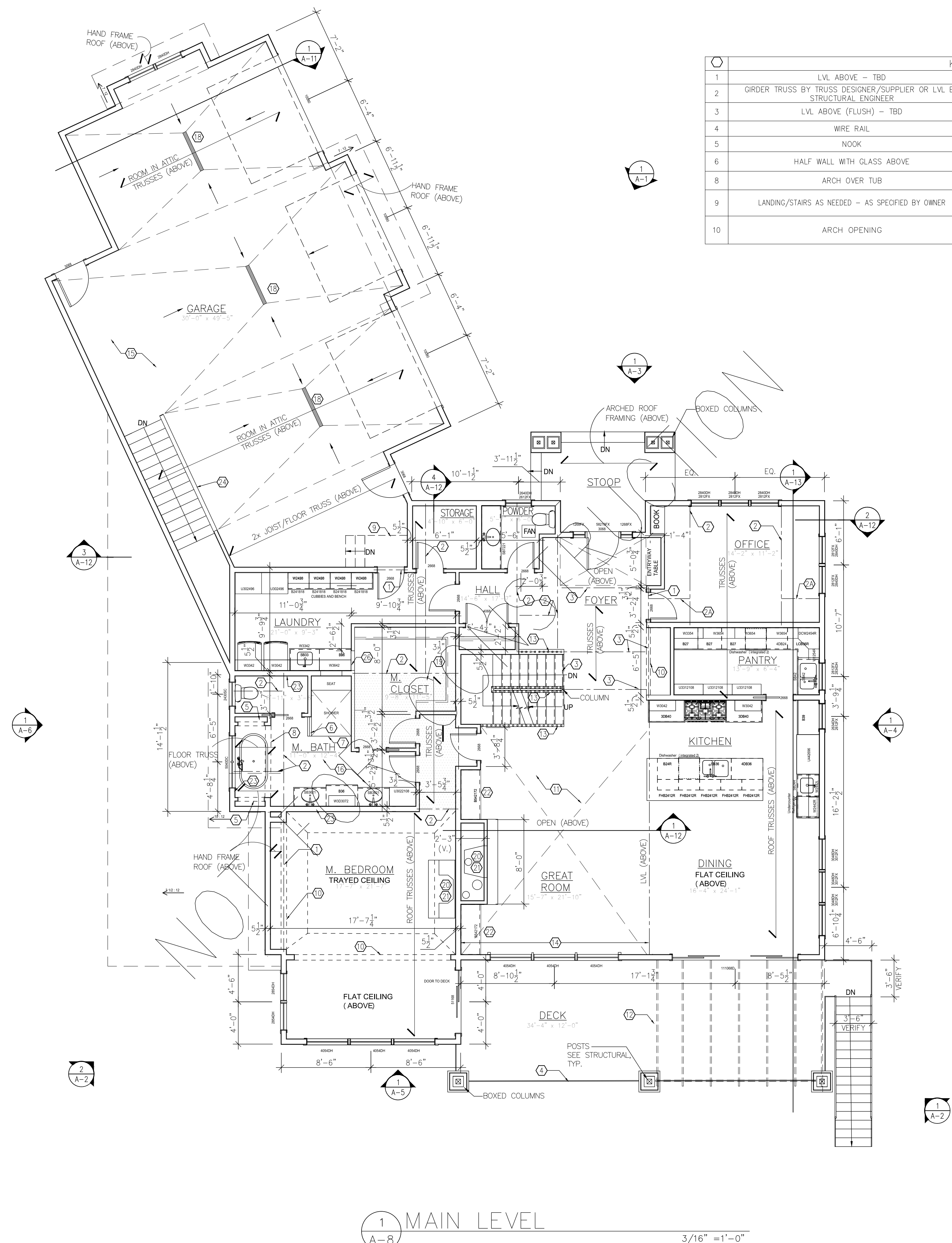
ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-7

BID SET ONLY —
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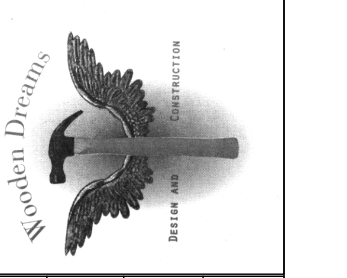
3
A-2



KEY NOTES			
1	LVL ABOVE - TBD	11	TIMBER - ABOVE SEE TIMBER DESIGN
2	GIRDER TRUSS BY TRUSS DESIGNER/SUPPLIER OR LVL BY STRUCTURAL ENGINEER	12	PERGOLA - ABOVE
3	LVL ABOVE (FLUSH) - TBD	13	OPEN RAILING - WROUGHT IRON - TBD
4	WIRE RAIL	14	WIND/TALL WALL BRACING O.C. - SEE STRUCTURAL
5	NOOK	15	HYDRONIC IN-FLOOR HEATING IN GARAGE
6	HALF WALL WITH GLASS ABOVE	16	HYDRONIC IN-FLOOR HEATING W/ GYPCRETE, SEE GENERAL NOTE #11
8	ARCH OVER TUB	18	FLOOR DRAIN-TO OIL SEPARATOR & HOLDING TANK - SEE GENERAL NOTE #20
9	LANDING/STAIRS AS NEEDED - AS SPECIFIED BY OWNER	19	MASTER CLOSET AREA TO HAVE ADDITIONAL 2x PLATE FIELD APPLIED TO TRUSS TOP CHORDS PRIOR TO SUBFLOOR
10	ARCH OPENING	20	GAS FIREPLACE INSERT TBD BY OWNER, DEPTH OF CHASE TBD IN ACCORDANCE W/ INSERT REQUIREMENTS, SEE GENERAL NOTE #22
		21	TIMBER MANTEL- TBD BY OWNER
		22	SOFFIT
		23	ADDITIONAL BOT. PLAT AS REQU'D - COORD. W/ TRUSS SUPPLIER FOR RECESSED AREA
		24	CAPPED HALF-HIGH WALL

1 MAIN LEVEL
 A-8 3/16" = 1'-0"

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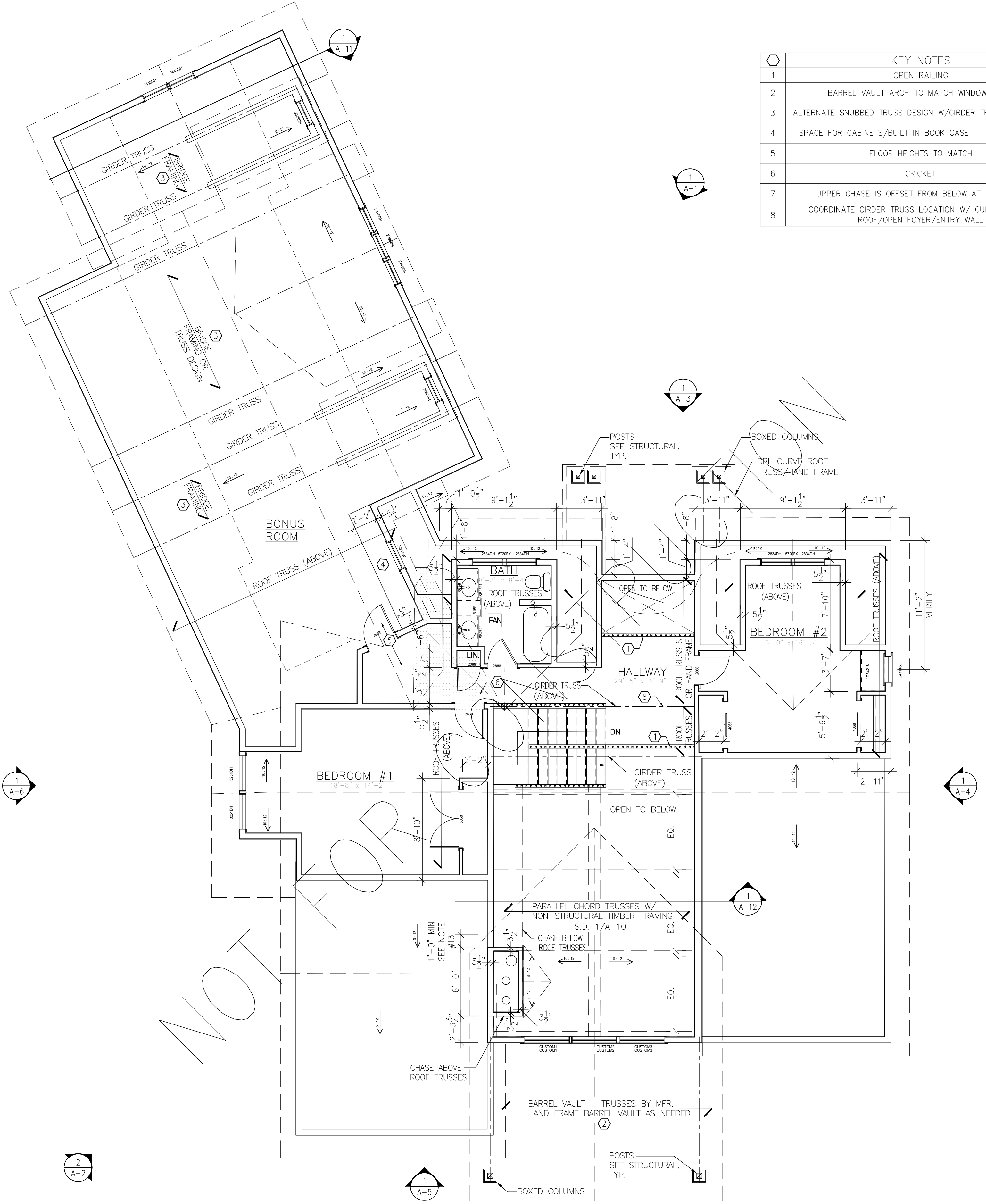
ISSUE/REVISION	
A	1/16/23 BID SET
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C	2/9/24 BID SET

NEW HOME:
 BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

A-8

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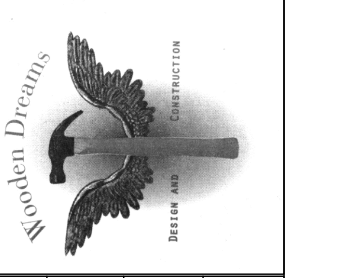
3
A-2



NOT FOR

1 UPPER LEVEL
 A-9 3/16" = 1'-0"

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ISSUE/REVISION	
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NEW HOME:
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 RANDOM LAKE, WISCONSIN

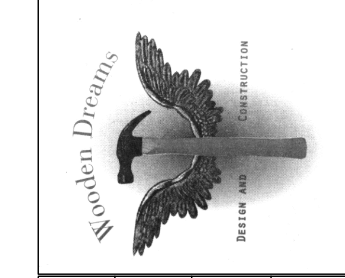
A-9

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1 TIMBER FRAMING REFERENCE
 A-10 NO SCALE

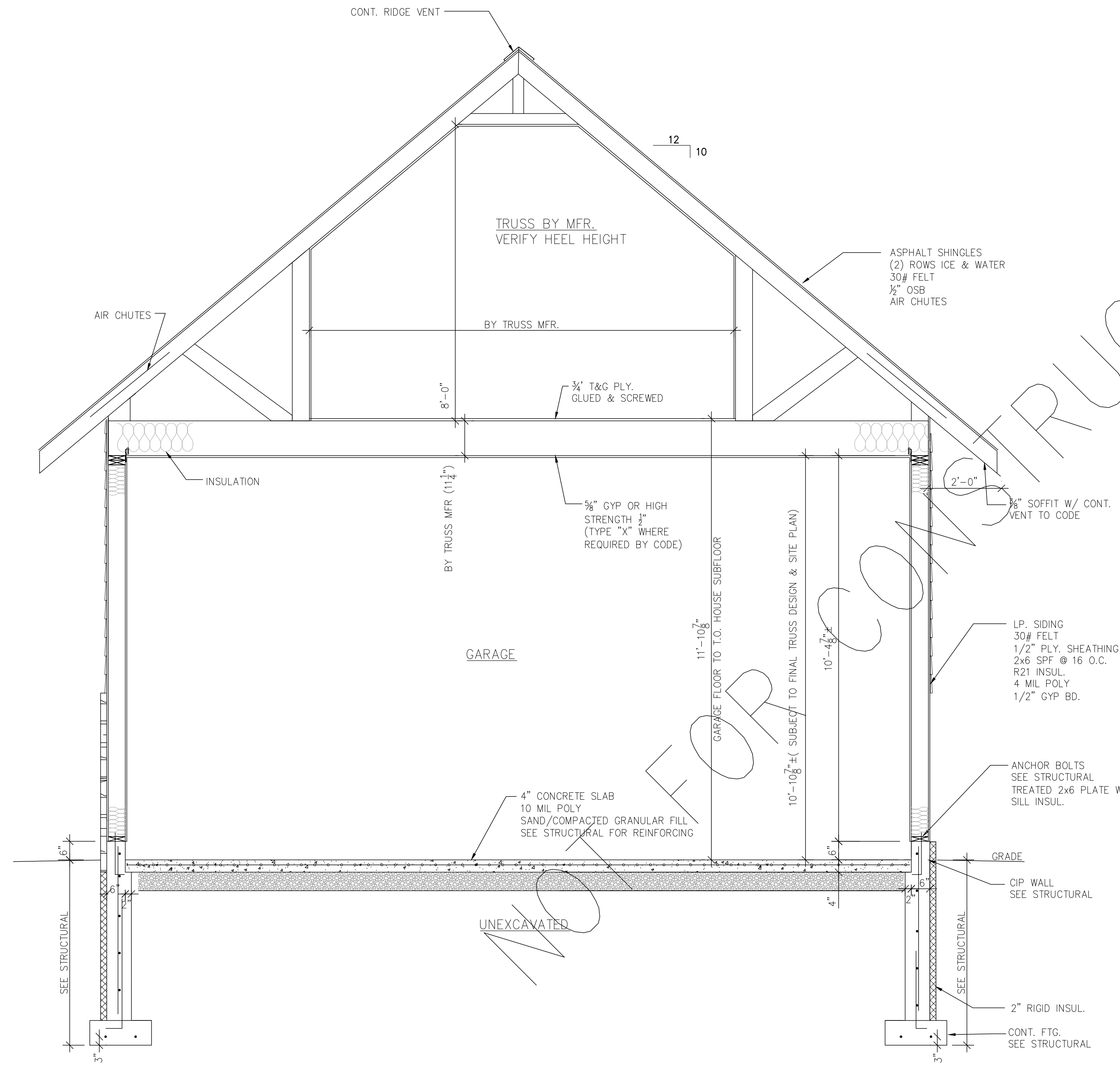
NEW HOME:
 BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN



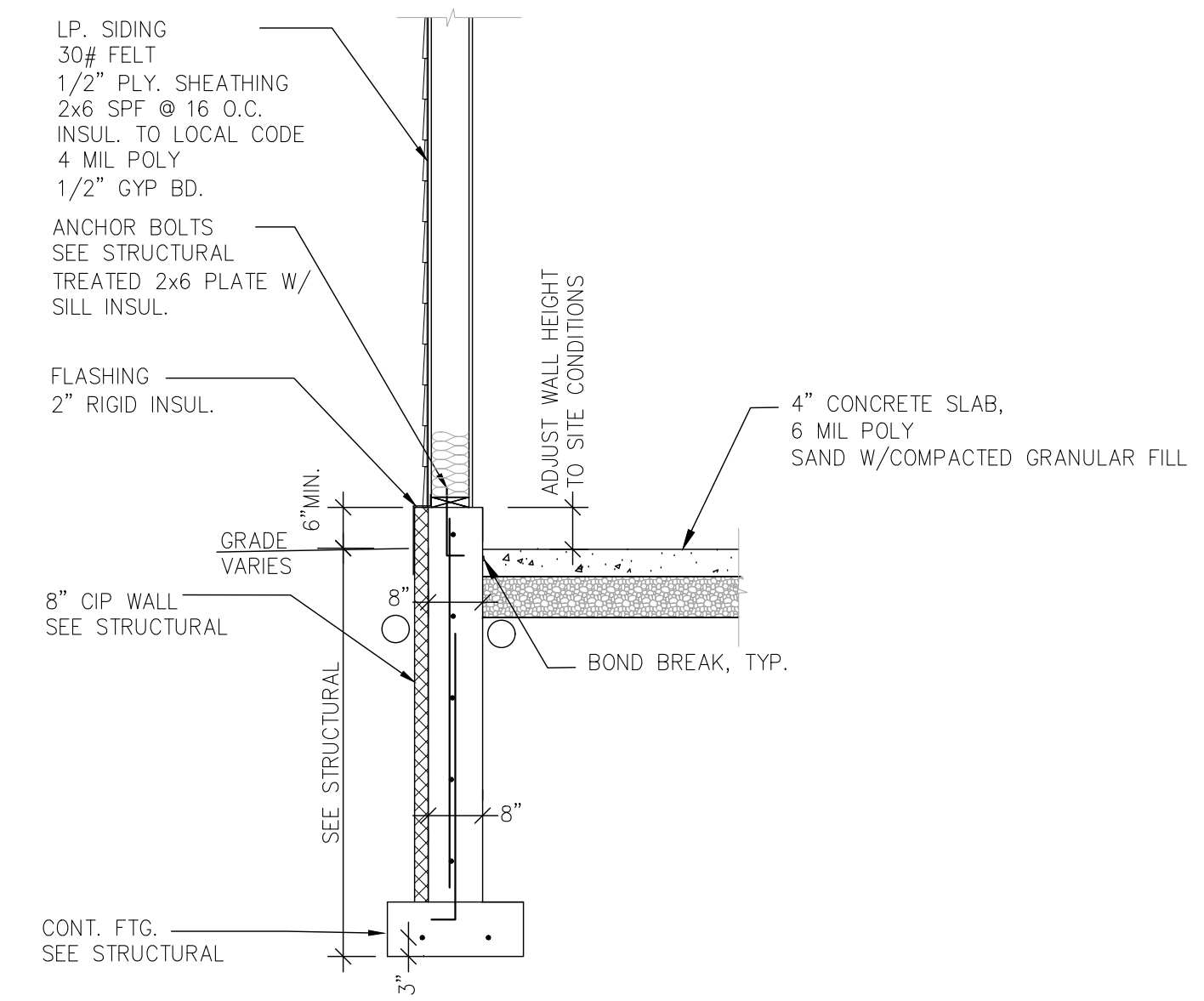
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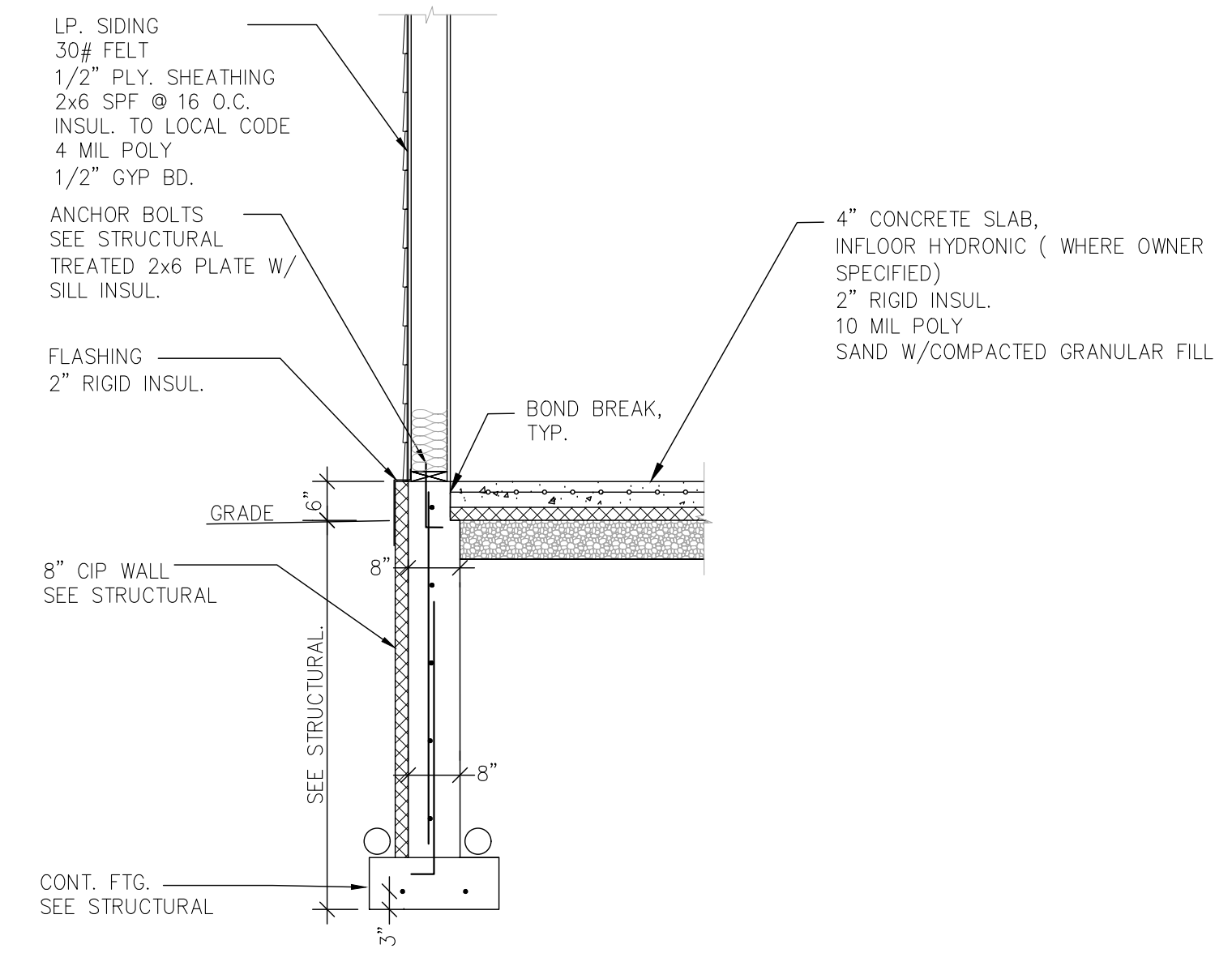
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1 SECTION
 A-11 1/2"=1'-0"

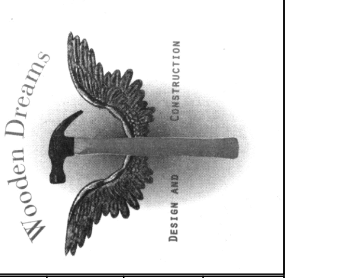


3 SECTION
 A-11 1/2"=1'-0"



2 SECTION
 A-11 1/2"=1'-0"

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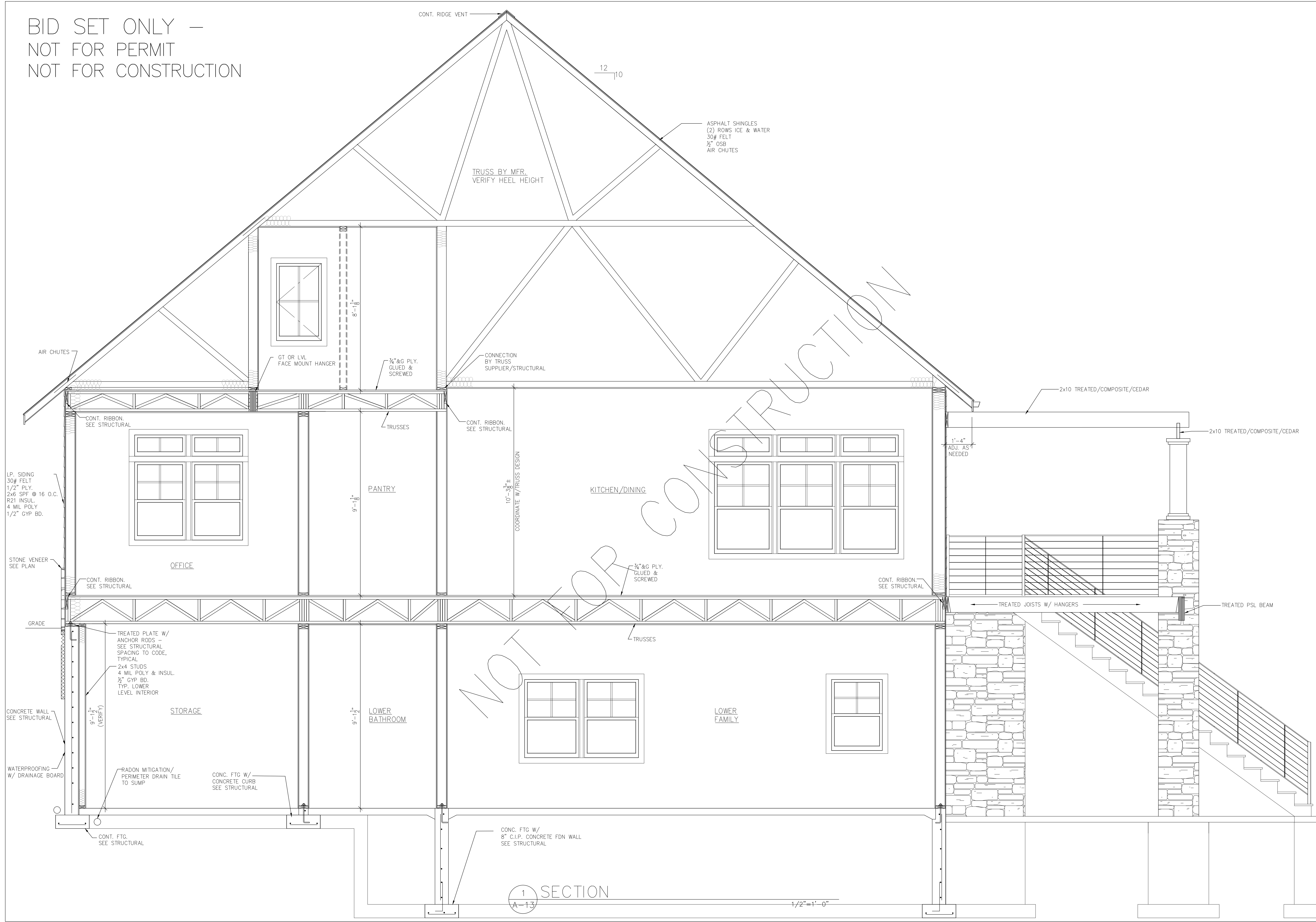


ISSUE/REVISION	1/16/23 BID SET	9/8/23 BID SET	2/9/24 BID SET
A			
B			
C			

NEW HOME:
BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

A-11

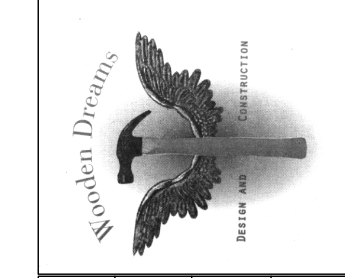
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1 SECTION
 A-13

1/2"=1'-0"

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ISSUE/REVISION	1/16/23	9/8/23	2/9/24
A	BID SET		
B		BID SET	
C			BID SET

NEW HOME:
 BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

A-13

BID SET ONLY —
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CABINET SCHEDULE									
LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	CODE	MANUFACTURER	COMMENTS
1DB4R18	1	2	48"	24"	18"	BASE CABINET			
1DB4R40	2	1	40"	24"	36"	BASE CABINET			
4DR2121	1	0	21"	21"	36"	BASE CABINET			
4DR24	1	1	24"	24"	36"	BASE CABINET			
4DR36	1	1	36"	24"	36"	BASE CABINET			
B12R	1	0	12"	24"	36"	BASE CABINET			
B132018	3	1	13"	19 3/4"	18"	BASE CABINET			
B15R	1	2	15"	24"	36"	BASE CABINET			
B2121R	1	0	21"	21"	36"	BASE CABINET			
B241R1R	4	1	24"	18"	18"	BASE CABINET			
B24R	3	0	24"	24"	36"	BASE CABINET			
B24R	3	1	23 7/8"	24"	36"	BASE CABINET			
B24R	1	1	24"	24"	36"	BASE CABINET			
B27	1	0	27"	24"	36"	BASE CABINET			
B27	3	1	27"	24"	36"	BASE CABINET			
B36	2	1	36"	24"	36"	BASE CABINET			
B39	2	1	39"	24"	36"	BASE CABINET			
B39442	1	0	39"	4"	42"	BASE CABINET			
B43442	1	0	42 9/16"	4"	42"	BASE CABINET			
B45442	1	0	45"	4"	42"	BASE CABINET			
B542172	1	1	54 1/4"	21"	72"	BASE CABINET			
B552172	1	1	55"	21"	72"	BASE CABINET			
BCB24R	1	0	24"	24"	36"	BASE CABINET			
BCW2454R	1	1	24"	24"	54"	CORNER WALL CABINET			
BHR2442R	1	0	23 3/16"	4"	42"	BASE CABINET			
BHR2412R	5	1	24"	12"	36"	BASE CABINET			
LCB36R	1	1	36"	36"	36"	CORNER BASE CABINET			
RIC392696	1	0	39"	25 1/2"	36"	UTILITY CABINET			
SR24R	1	1	23 13/16"	24"	36"	BASE CABINET			
SB3121	2	2	31"	21"	36"	BASE CABINET			
SB33	1	1	33"	24"	36"	BASE CABINET			
SB36	1	0	36"	24"	36"	BASE CABINET			
SB36	1	1	36"	24"	36"	BASE CABINET			
SB3621	1	0	36"	21"	36"	BASE CABINET			
SB3621	2	1	36"	21"	36"	BASE CABINET			
SR42	1	1	42"	24"	36"	BASE CABINET			
SR4221	1	1	42"	21"	36"	BASE CABINET			
U3022108	1	1	30"	22"	108"	UTILITY CABINET			
U302490	1	1	30"	24"	90"	UTILITY CABINET			
U302496	2	1	30"	24"	96"	UTILITY CABINET			
U311890	1	1	30 11/16"	18"	90"	UTILITY CABINET			
U3312108	3	1	33"	12"	108"	UTILITY CABINET			
U442696	1	1	44"	25 1/2"	96"	UTILITY CABINET			
W1254R	1	1	12"	12"	54"	WALL CABINET			
W2420	4	1	24"	12"	20"	WALL CABINET			
W2436R	2	0	24"	12"	36"	WALL CABINET			
W2442	1	1	24"	12"	42"	WALL CABINET			
W2442R	1	1	24"	12"	42"	WALL CABINET			
W245R	4	1	24"	12"	5R	WALL CABINET			
W3042	3	1	30"	12"	42"	WALL CABINET			
W3342	2	1	33"	12"	42"	WALL CABINET			
W3354	1	1	33"	12"	54"	WALL CABINET			
W3642	1	1	36"	12"	42"	WALL CABINET			
W3654	3	1	36"	12"	54"	WALL CABINET			
W3D3072	1	1	30"	12"	72"	WALL CABINET			

FIXTURE SCHEDULE									
LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	CODE	MANUFACTURER	COMMENTS
RJUIT-IN REFRIGERATOR	1	0	42"	23 3/4"	79 3/8"				
DISHWASHER (INTEGRATED 2)	2	1	23 11/16"	23"	30 1/2"				
DISHWASHER (INTEGRATED)	1	0	23 5/16"	23"	30 1/2"				
DRYER (CURVED)	1	1	27"	33 3/16"	38"				
FLAT HOOD	1	1	48"	19 11/16"	29 9/16"				
GAS 1 1/2 RANGE	1	1	48"	24 3/4"	39 1/2"				
OFFSET 32" (UNDERMOUNT) [29 1/8W]	1	0	29 1/8"	19 3/16"	23 1/2"				
OFFSET 32" (UNDERMOUNT) [29 1/8W]	2	1	29 1/8"	19 3/16"	23 1/2"				
OVAL	1	1	62 15/16"	34 13/16"	42 1/4"				
OVAL (UNDERMOUNT) [20W]	1	0	20"	20 1/2"	27 3/16"				
OVAL (UNDERMOUNT) [20W]	3	1	20"	20 1/2"	12 5/16"				
OVAL (UNDERMOUNT) [20W]	2	2	20"	20 1/2"	12 5/16"				
SQUARE (UNDERMOUNT) [17W]	2	1	17"	17"	18 5/16"				
STANDARD (RIGHT) [60W]	1	2	60"	32"					
STANDARD TOILET	1	0	30"	36"	28 9/16"				
STANDARD TOILET	2	1	30"	36"	28 9/16"				
STANDARD TOILET	1	2	30"	36"	28 9/16"				
TUB-SHOWER (SIDE SHELF)	1	0	60"	32"	76"				
UNDERCOUNTER REFRIGERATOR [24]	1	1	24"	22"	30"				
WASHER (CURVED FRONT LOADING)	1	1	27"	33 3/16"	38"				

FINISH SCHEDULE									
LABEL	FLOOR	DESCRIPTION	CODE	MANUFACTURER	COMMENTS				
LOWER FAMILY	1	CARPET							
LOWER BATH	1	CERAMIC TILE							
LOWER BAR/POL TABLE	0	CERAMIC TILE							
LOWER GARAGE, STORAGE AREAS, FUTURE, EXERCISE ROOM	0	CONCRETE - SMOOTH FINISH							
STAIRS	1	CARPET							
GARAGE	1	CONCRETE - SMOOTH FINISH							
OFFICE	1	CARPET							
MASTER BEDROOM	1	CARPET							
MASTER CLOSET	1	CARPET							
MASTER BATH	1	CERAMIC TILE							
FOYER	1	VT							
HALLWAY	1	VT							
GREAT ROOM	1	VT							
KITCHEN	1	VT							
PANTRY	1	VT							
LAUNDRY/MUDROOM	1	VT							
BOWFIE	1	VT							
STAIRS	1	CARPET							
HALLWAY	2	CARPET							
BEDROOM #1	2	CARPET							
BEDROOM #2	2	CARPET							
UPPER BATHROOM	2	VT							
BONUS ROOM	2	CARPET							

NOT FOR CONSTRUCTION

DESIGN CONCEPT PLANS BY:
 WOODEN DREAMS, INC.
 1883 SIOUX BLVD.
 NEW BRIGHTON, MN 55112 651-636-7645

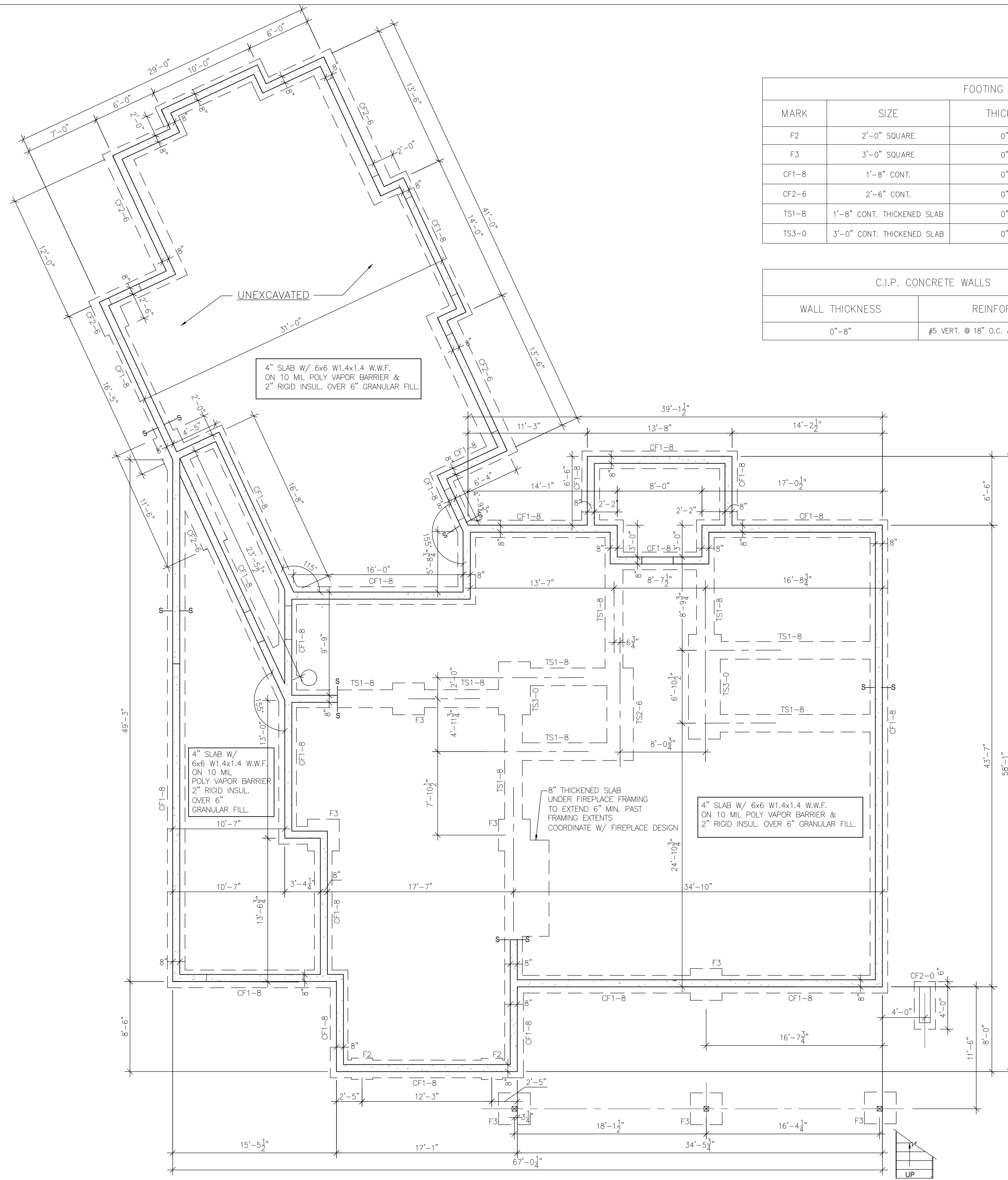


ISSUE/REVISION	DATE	DESCRIPTION
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:
 BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

GENERAL NOTES:

1. ALL EXTERIOR WALL FOOTINGS ADJACENT TO HEATED STRUCTURES SHALL HAVE A MINIMUM SOIL COVER OF 4'-0" AND FOOTINGS AT UNHEATED STRUCTURES SHALL HAVE A MINIMUM SOIL COVER OF 5'-0". SOIL COVER IS MEASURED FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
2. IN LIEU OF SOIL BORINGS, FOOTING HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 1500 PSF. IT WILL BE THE RESPONSIBILITY OF OTHERS TO VERIFY THIS BEARING CAPACITY, TO ENSURE THAT DAMAGING DIFFERENTIAL SETTLEMENT WILL NOT OCCUR.



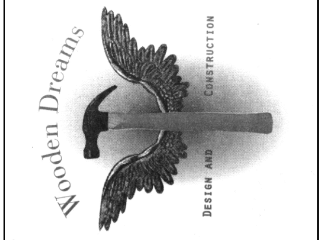
FOOTING SCHEDULE			
MARK	SIZE	THICKNESS	REINFORCEMENT
F2	2'-0" SQUARE	0'-8"	(2) #5 BARS EA WAY TYP., BOT.
F3	3'-0" SQUARE	0'-8"	(3) #5 BARS EA WAY TYP., BOT.
CF1-8	1'-8" CONT.	0'-8"	(2) #5 BARS
CF2-6	2'-6" CONT.	0'-8"	(3) #5 BARS
TS1-8	1'-8" CONT. THICKENED SLAB	0'-8"	(2) #5 BARS
TS3-0	3'-0" CONT. THICKENED SLAB	0'-8"	(3) #5 BARS & #5 TRANSVERSE BARS @ 18" O.C.

C.I.P. CONCRETE WALLS	
WALL THICKNESS	REINFORCEMENT
0'-8"	#5 VERT. @ 18" O.C. & #5 HORIZ. @ 18" O.C.

1 FOUNDATION PLAN

3/16" = 1'-0"

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 1883 SIOUX BLVD.
 NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION	
A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:
BARB & CHUCK MUELLER
 RANDOM LAKE, WISCONSIN

4 PLY 1.75x5.5 LVL
W/ (2) SIMPSON A23
CLIPS @ EA END

(2) 2X6 FULL
HGT STUDS @ 16" O.C.
EA SIDE, TYP. @ TALL WALL

3PLY 1.75x5.5 LVL
ORIENTED FLAT
W/ (2) SIMPSON A33
CLIPS @ EA END

4 PLY 1.75x5.5 LVL
W/ (2) SIMPSON A23
CLIPS @ EA END

3PLY 1.75x5.5 LVL
ORIENTED FLAT
W/ (2) SIMPSON A33
CLIPS @ EA END

3PLY 1.75x5.5 LVL
ORIENTED FLAT
W/ (2) SIMPSON A33
CLIPS @ EA END

3PLY 1.75x5.5 LVL
ORIENTED FLAT
W/ (2) SIMPSON A33
CLIPS @ EA END

2x BLOCKING

A
A

DETAIL

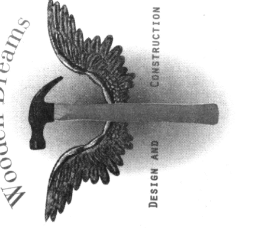
1/2" = 1'-0"

1
S-2

TALL WALL FRAMING/BRACING

1/2" = 1'-0"

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NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION

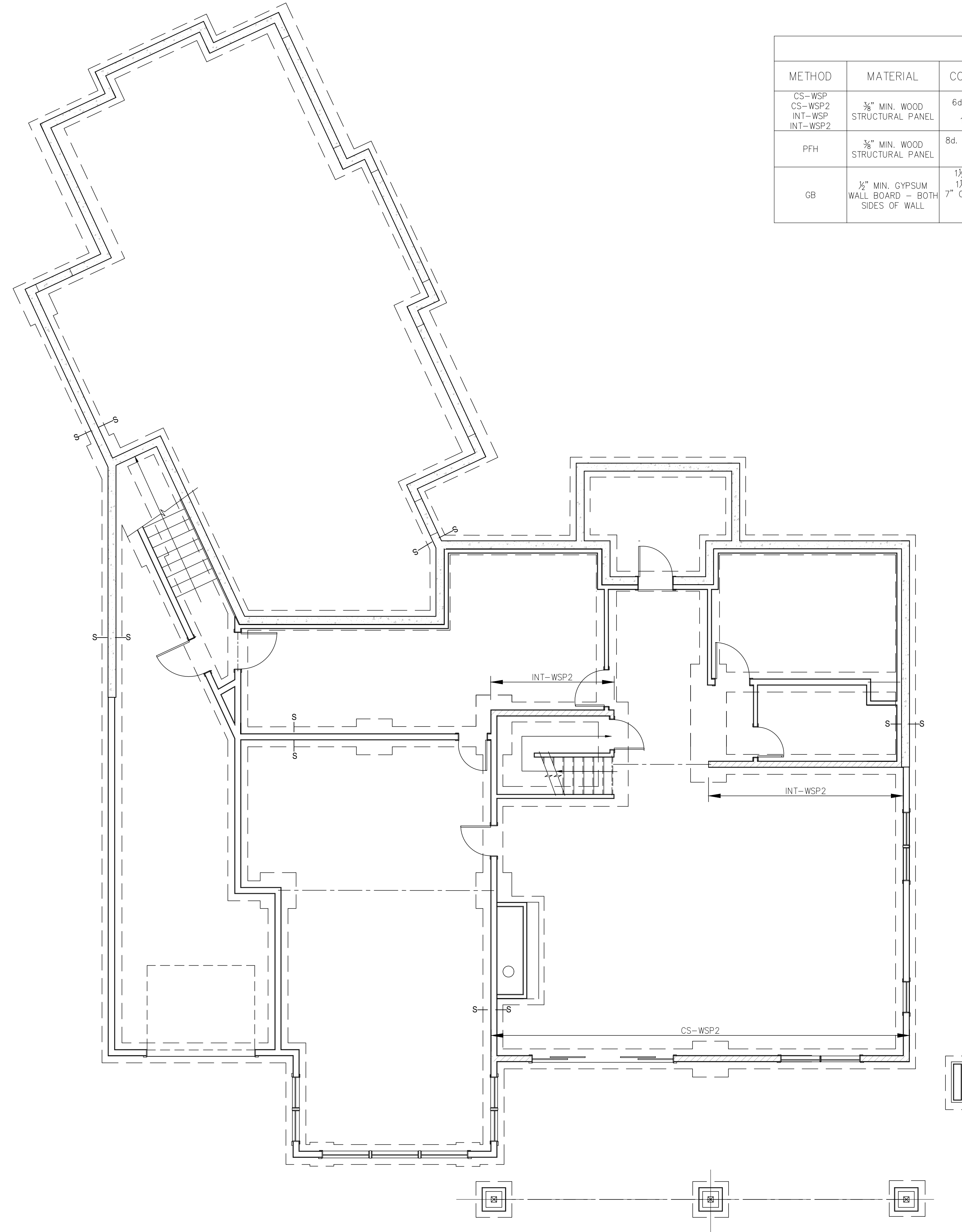
ISSUE/REVISION	DATE	BY
A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

S-2

WALL BRACING NOTES:

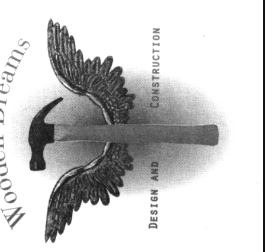
1. CONTINUOUS SHEATHING (CS-WSP) METHODS REQUIRE STRUCTURAL PANEL SHEATHING TO BE USED ON ALL SHEATHABLE SURFACES ON ONE SIDE OF A BRACED WALL LINE INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS AND SHALL MEET THE REQUIREMENTS OF SECTION R602.10.7.
2. INTERMITTENT WOOD STRUCTURAL PANEL SHEATHING (INT-WSP) SEE SECTION R604.
3. THE PFH BRACED WALL SHALL BE A PORTAL FRAME WITH HOLD DOWNS, WITH A HEADER AND FASTENING PATTERN SHOWN IN THE PFH FIGURE R602.10.2. SEE DETAIL 1/S6.



BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY		R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/S6	1/2" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	METHOD PFH FIGURE R602.10.6.2, SEE 1/S6
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

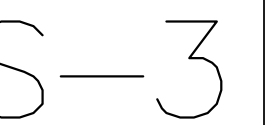
1 LOWER LEVEL BRACING PLAN
S-3 3/16" = 1'-0"

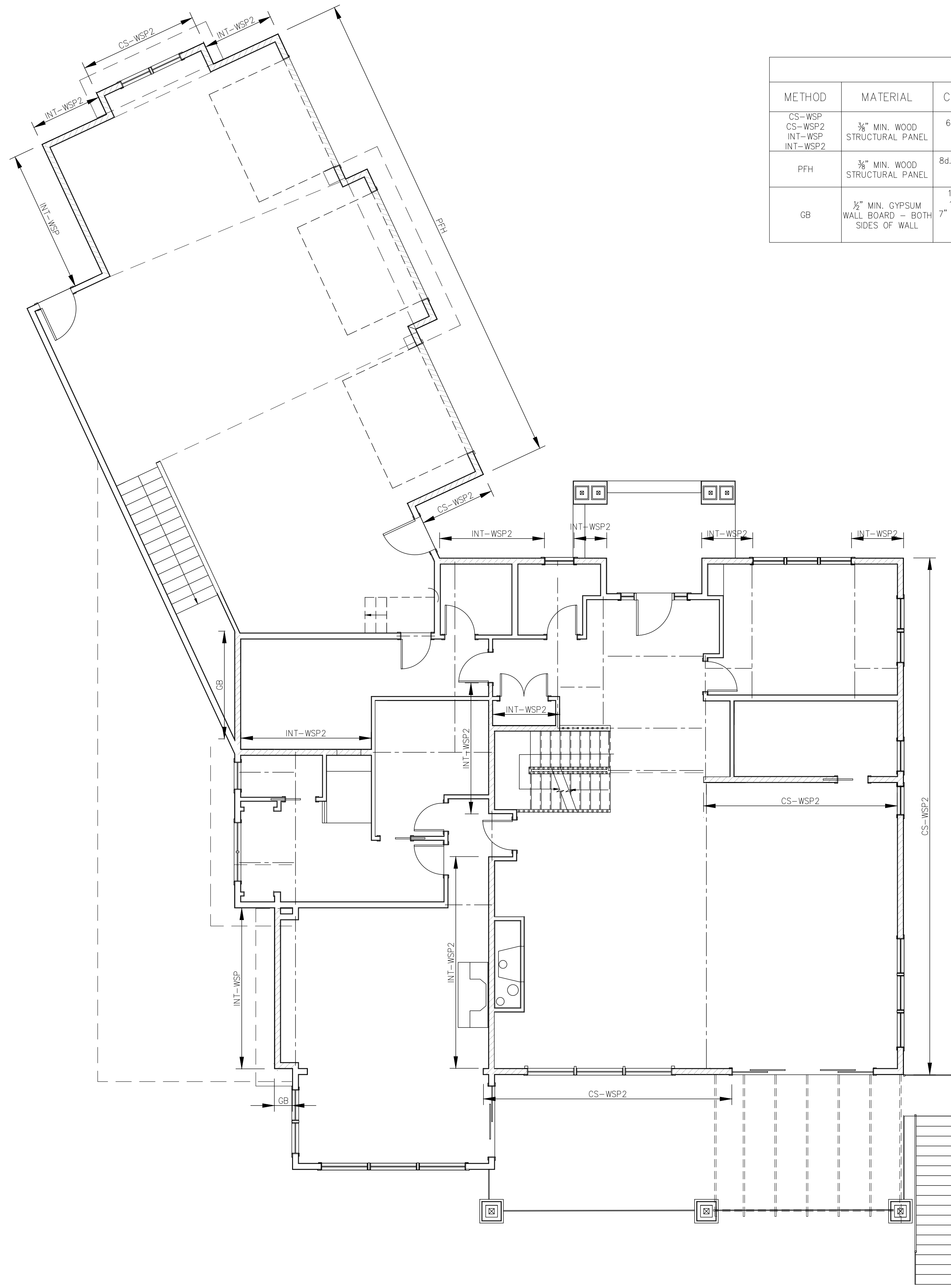
DESIGN CONCEPT PLANS BY:
WOODEN DREAMS, INC.
1883 SIOUX BLVD.
NEW BRIGHTON, MN 55112 651-636-7645



ISSUE/REVISION	1/16/23	BID SET
A		
B	9/8/23	BID SET
C	2/9/24	BID SET

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN





BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY		R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/56	1/2" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	METHOD PFH FIGURE R602.10.6.2, SEE 1/56
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

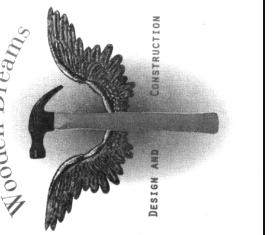
1
S-4 MAIN LEVEL BRACING PLAN
3/16" = 1'-0"

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

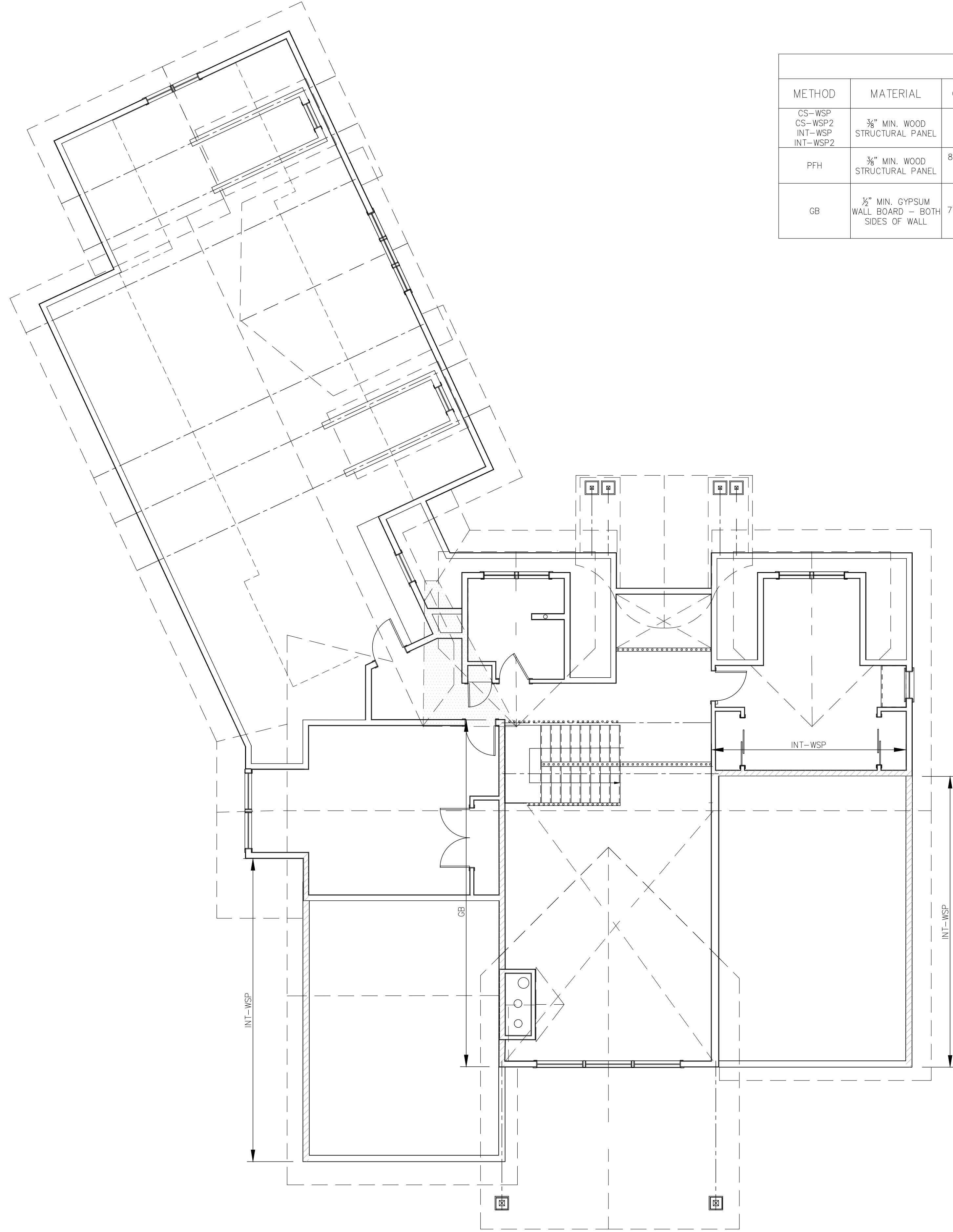
S-4

ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET



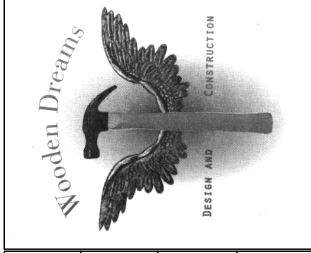
DESIGN CONCEPT PLANS BY:
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1883 SIOUX BLVD.
NEW BRIGHTON, MN 55112 651-636-7645



BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY		R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/56	3/4" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	METHOD PFH FIGURE R602.10.6.2, SEE 1/56
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

1 UPPER LEVEL BRACING PLAN
S-5 3/16" = 1'-0"

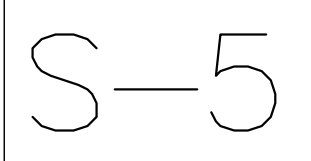
DESIGN CONCEPT PLANS BY:
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1883 SIOUX BLVD.
NEW BRIGHTON, MN 55112 651-636-7645

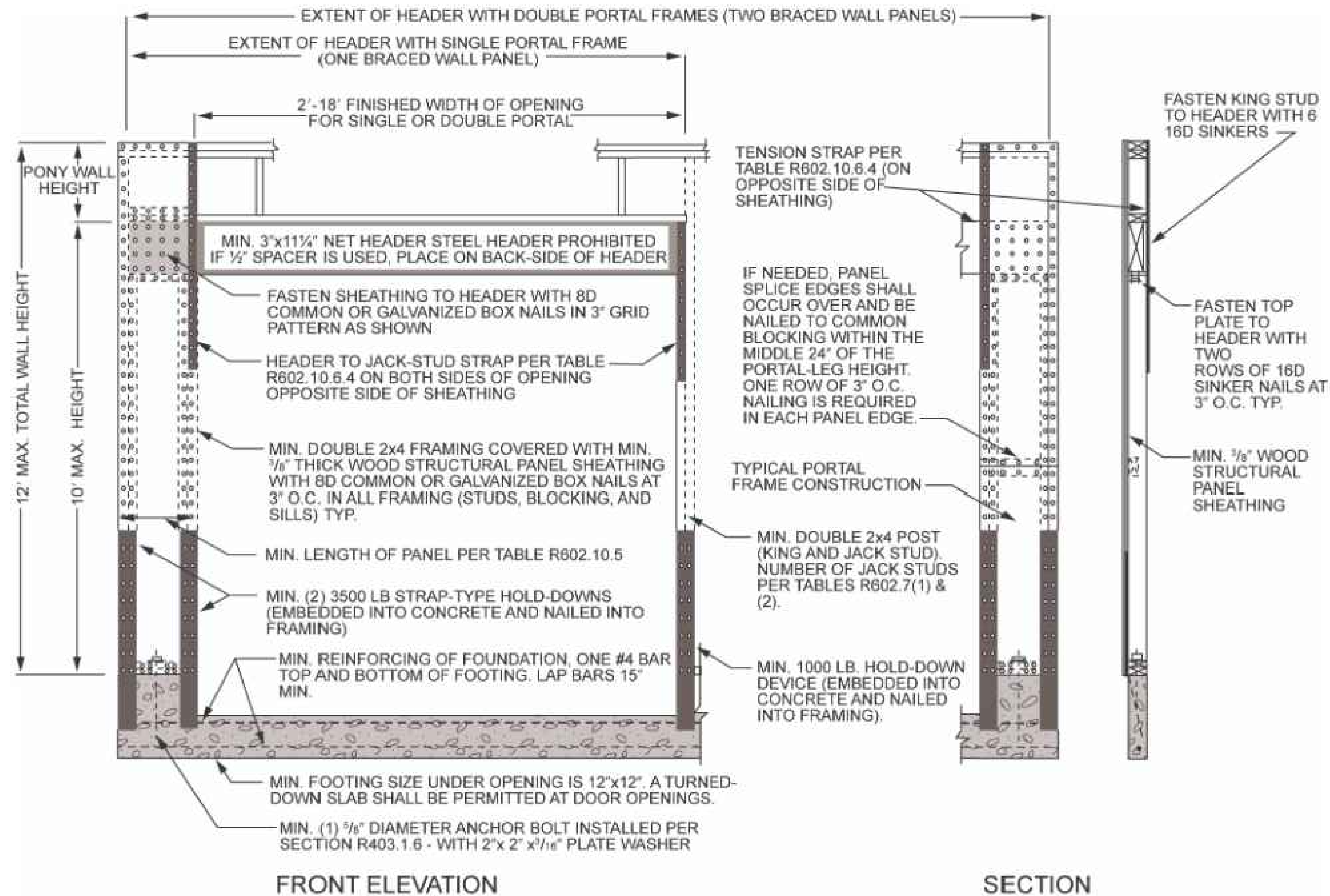


ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN





For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R602.10.6.2 METHOD PFH—PORTAL FRAME WITH HOLD-DOWNS

A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET

Mueller

New Home Build

Lot 7, East Shore Drive

Exterior Materials:

- Shingles – weathered
 - Asphalt shingles
- Siding - Sand Dunes
 - LP SmartSide
- Trim - Snowscape White
 - LP SmartSide
- Windows – White – Anderson 400 Series
- Steel Roof - Banished Slate – on dormers and rear garage

PLAT OF SURVEY

OWNERS:
 CHARLES J. MUELLER
 BARBARA J. MUELLER
 PO BOX 323
 RANDOM LAKE, WI 53075

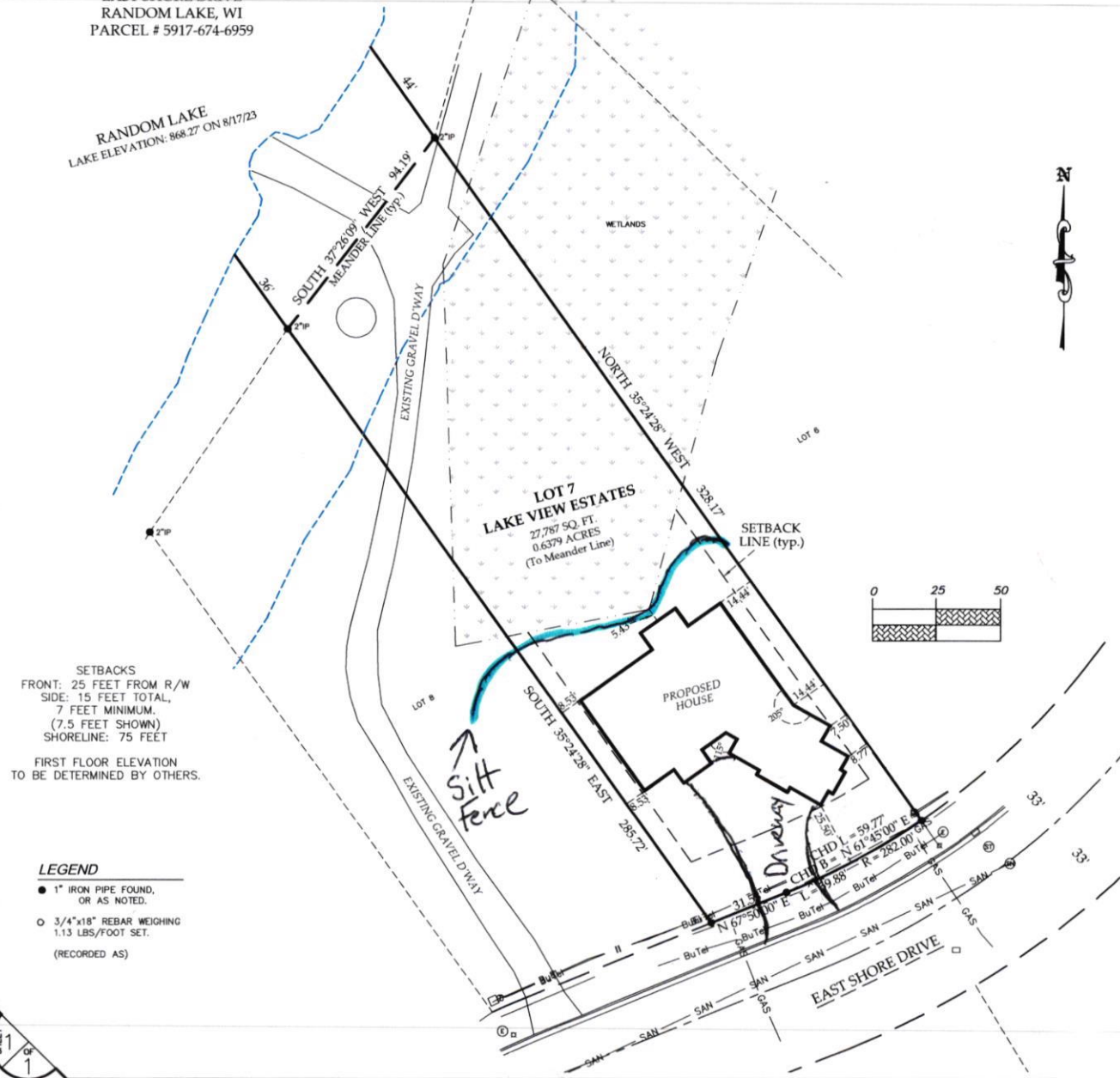
SITE ADDRESS:
 EAST SHORE DRIVE
 RANDOM LAKE, WI
 PARCEL # 5917-674-6959

LEGAL DESCRIPTION

LOT SEVEN (7) IN LAKE VIEW ESTATES, VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY, WISCONSIN.

FURTHER DESCRIBED AS:

LOT SEVEN (7) IN LAKE VIEW ESTATES, BEING PART OF GOVERNMENT LOT 4, SECTION 26, TOWN 13 NORTH, RANGE 21 EAST, VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY, WISCONSIN.

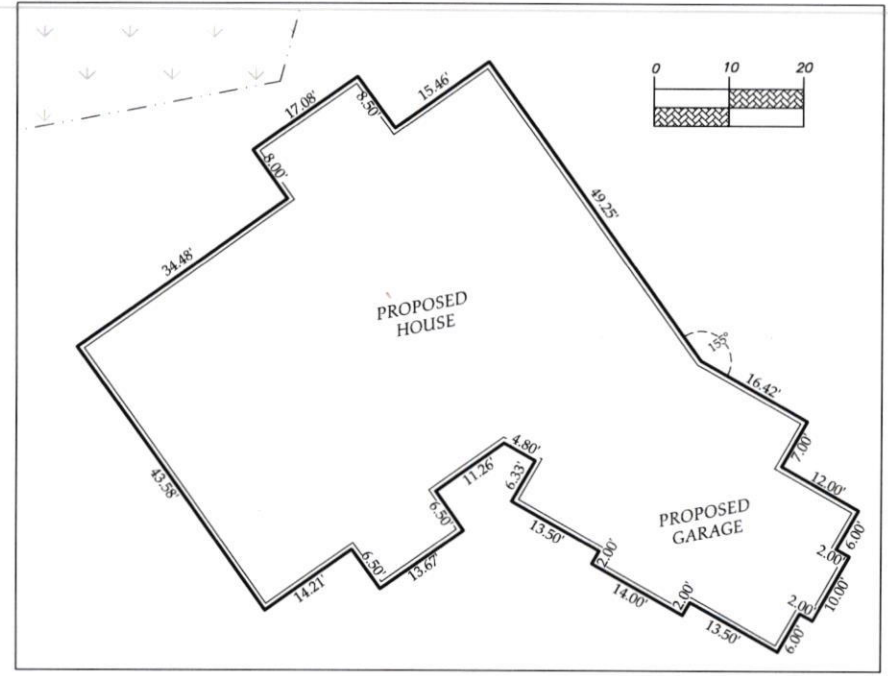


SETBACKS
 FRONT: 25 FEET FROM R/W
 SIDE: 15 FEET TOTAL,
 7 FEET MINIMUM.
 (7.5 FEET SHOWN)
 SHORELINE: 75 FEET

FIRST FLOOR ELEVATION
 TO BE DETERMINED BY OTHERS.

LEGEND

- 1" IRON PIPE FOUND,
OR AS NOTED.
- 3/4"x18" REBAR WEIGHING
1.13 LBS/FOOT SET.
(RECORDED AS)



THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNER OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE THE TITLE THERETO WITHIN 1 YEAR FROM THE DATE HEREON.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSION OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY, AND THAT I HAVE COMPLIED WITH WISCONSIN CHAPTER A-E 7.



122 Wisconsin Street, West Bend, WI 53095
 262.346.7800 kparish@parishse.com

SURVEYED BY JOSEPH W. DAVID
 MAPPED BY J. SCOTT HENKEL, PLS

FN: H-23-23 Date: 2/07/24